

**GOVERNMENT OF THE DISTRICT OF COLUMBIA  
DEPARTMENT OF GENERAL SERVICES**

**Buzzard Point Soccer Stadium – Site Preparation Above-Grade Structure Demolition**

**Solicitation No.: DCAM-16-CS-0031**

**Amendment No. 4**

**Issued: November 24, 2015**

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This Amendment No. 4 is issued and hereby published on the DGS website on November 24, 2015. Except as modified hereby, the Request for Proposals (“RFP”) remains unmodified.

**Item #1 A.5 Attachments**

Delete: Attachment A- Drawings and Specifications

Insert: Attachment A- Revised Drawings and Specifications (Exhibit 1)

**Item #2 A.5 Attachments**

Delete: Attachment C- Form of Offer Letter

Insert: Attachment C- Revised Form of Offer Letter (Exhibit 2)

**Item #3 A.5 Attachments**

Delete: Attachment D- Disclosure Form

Insert: Attachment D- Revised Disclosure Form (Exhibit 3)

**Item #4 Site Images**

Insert: Attachment N-Site Images (Exhibit 4)

**Item #5 Section B Scope of Work**

**B.2.1**

Delete: The Scope of Work shall be completed at the following sites:

Site No.	Site Name	Square, Lot
1	Ein	0605, 0007
2	Akridge	0603, 0800
3	Super Salvage	0605, 0802
4	Salt Dome	0661N, 0800

Insert: The stadium site plan is divided into the following sites:

Site No.	Site Name	Square, Lot
1	Potomac Ave and District Parcel	Public Space and 0603S, 0800
2	Ein	0605, 0007
3	Super Salvage	0605, 0802
4	Akridge	0607, 0013
5	Salt Dome	0661, 0800
6	Pepco A	0661, 0805
7	Pepco B	0661, 0804
8	Pepco C	0665, partial 0024
9	Closed Roads	Public Space

#### **Item #6 B.4 Schedule**

Delete: Work at all sites, with the exception of Site 4 (Salt Dome), shall begin on or about December 15, 2015. Work at Site 4 (Salt Dome) shall begin on or about April 1, 2016.

Insert: The estimated demolition start for Sites 2-4 is now January 15, 2016. Work at Site 5 (Salt Dome) shall begin on or about April 1, 2016

#### **Item #7 Section B Scope of Work**

##### **B.2.1**

Delete: (b) Any demolished material, equipment and debris shall become property of the Contractor and shall immediately become the Contractor's responsibility. No sale of materials may be conducted on site.

Insert: (b) Any debris or demolished material or equipment on site at the start of demolition shall be considered the responsibility of the Contractor to remove and properly dispose. Any intact items, including, but not limited to, trees, vehicles, machinery and structures shall not be considered the Contractor's property until demolished. No sale of materials may be conducted on site.

#### **Item #8 Section B Scope of Work**

##### **B.2.5**

Delete: Contractor shall include an allowance of Twenty Five Thousand Dollars and Zero Cents (\$25,000.00)

Insert: Contractor shall include an allowance of Fifty Thousand Dollars and Zero Cents (\$50,000.00)

## **Item #9 Section B Scope of Work**

### **Insert:**

**B.2.11** - At each road opening to the stadium site the contractor shall install a chain-link fence to match the existing height, and mesh of surrounding fencing. Each road opening shall have a double-swing gate entrance of 8' in width. Each gate shall have a latch and drop rod. Any gaps in the fencing surrounding the stadium site due to a demolished building shall be filled by a new chain-link fence to match the existing height of surrounding fencing. No concrete barriers permitted. All fencing shall have 1 ¼" 11-gauge mesh. Contractor shall install signage per the attached "Road Closure Signage Plan." (Sheet 0003)

**B.2.13** – Contractor shall remove the storage tank located on Potomac Avenue right of way between 1<sup>st</sup> and 2<sup>nd</sup> Streets (see Image 4). The Contractor shall include the cost for the thorough investigation of the tank and a report that shall include the following: (1) materials in tank, (2) quantity of materials and (3) means and methods for removal. An allowance of \$20,000.00 has been provided (see amendment 4 Item #2, exhibit 2). The cost for the investigation and report shall be deducted from the allowance. The report shall be reviewed and approved by DGS.

**B.2.14** – The contractor shall remove all trees inside the stadium site, including those in the closed streets right of way. Contractor shall include this removal as an add/alternate price. Those on the streets along the stadium site's perimeter shall not be disturbed.

**B.2.15** – Contractor shall provide a unit price per foot to remove wall at Site 9. Contractor to assume wall is 375 feet long. An increase or decrease in cost will be issued by change order if the length of the wall increases or decreases more than five percent (5%). Wall shall be removed along with work in Site 5 on or about April 1, 2016.

**B.2.16** - Contractor shall perform air quality tests during demolition of structures to show conformance to General Conformity Rule's emission thresholds or the National Ambient Air Quality Standards (NAAQS).

**B.2.17**- Include replacement perimeter fencing for 500 linear feet. New fencing shall match surrounding fencing. Contractor shall state the per linear foot cost of both new fencing and re-used fencing, and issue an increase or decrease in cost will be issued by change order if the quantity of new fencing increases or decreases more than five percent (5%). This does not include the new fencing included elsewhere in the scope of work for the street entrances. Contractor may re-use fencing, so long as it is free of rust or damage and is a similar appearance to surrounding fencing.

**B.2.18** - Contractor shall stabilize all unpaved disturbed areas with a uniform perennial vegetative cover with a density of 70% of the native background vegetative cover OR equivalent permanent stabilization measures. Please use matching native background vegetative cover.

**B.2.19** - The concrete box that surrounds the chemicals and the tanks themselves shall be removed by the Contractor (see Image 1). This shall be removed as part of the Site 5 work. The chemicals are a mixture of beet juice and salt that is applied to the roads.

**B.2.20** - Contractor shall stabilize all unpaved disturbed areas with a uniform perennial vegetative cover with a density of 70% of the native background vegetative cover OR equivalent permanent stabilization measures.

**B.2.21** - Parking is allowed on the closed streets while work is being completed at the stadium site. DGS has the right to designate a parking area within the stadium site. No parking is permitted on the non-closed streets.

**B.2.22** - Construction vehicles, which include, but are not limited to, trucks, cranes, cars and trailers shall only be permitted to use Potomac Avenue, SW and South Capitol Street, SE to enter and exit the stadium site. The streets immediately north of the stadium site (Half Street, SW; 1<sup>st</sup> Street, SW; and 2<sup>nd</sup> Street, SW) are primarily residential streets and no construction vehicles will be permitted at any time.

**B.2.23** - The following information must be posted at each street entrance to the site:

- \*Contractor Name
- \*Superintendent Contact Name and Phone Number
- \*24/7 Emergency Contact Information
- \*Notice of "Authorized Persons Only"
- \*Location of Construction Office

The sign must be clearly visible from at least 50 feet away.

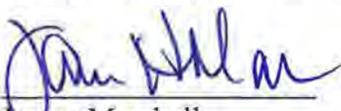
**B.2.24** - Please include a phasing plan that includes (1) boundaries of each work phase and (2) estimated durations for each phase.

#### **Item #10 E.4.1.5 Attachments**

Insert: e) Contractor must provide a Traffic Control Plan as part of its proposal if it anticipates any need to occupy or perform work in any open streets.

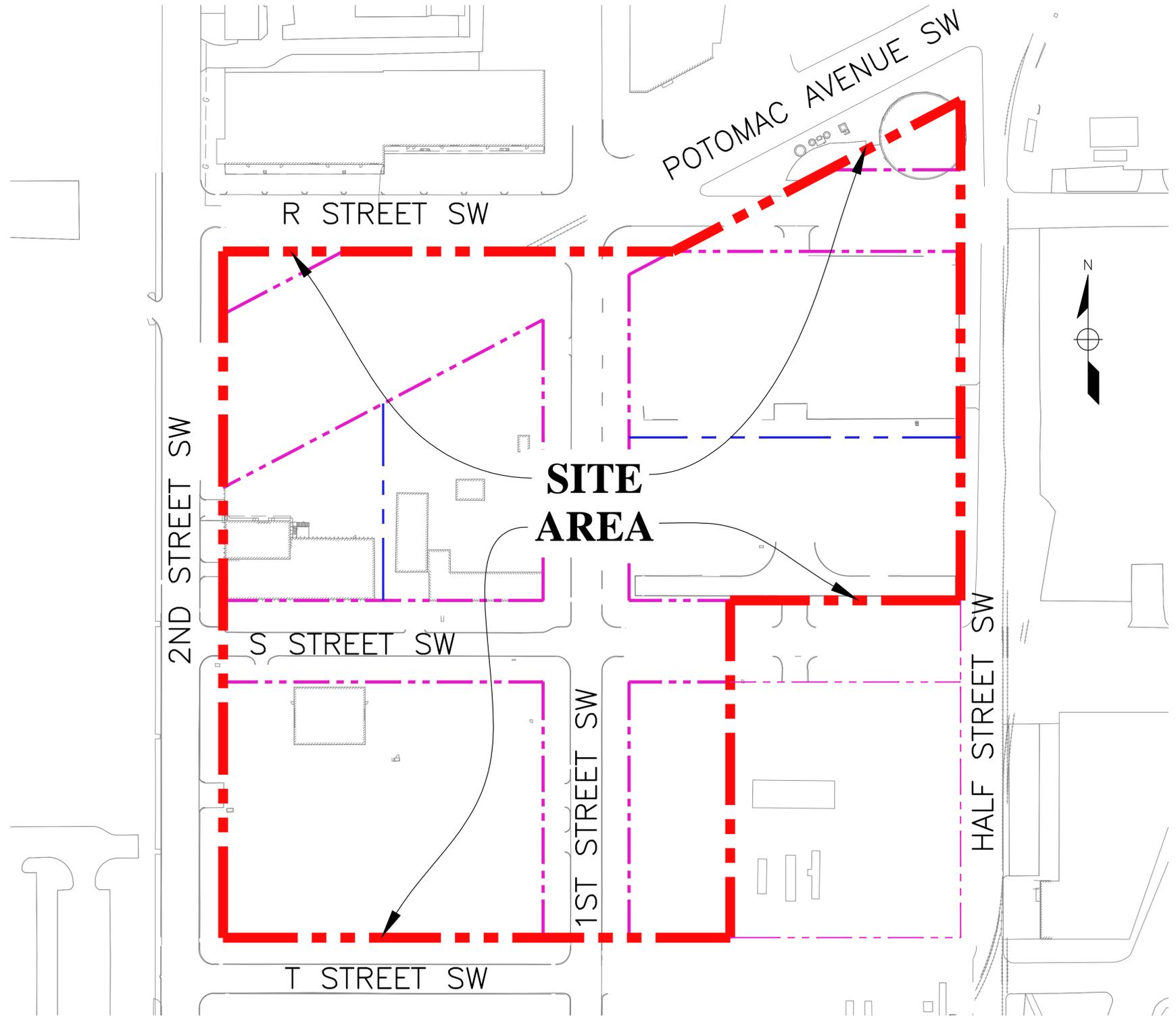
#### **Item #11 Responses to Question about the Solicitation**

Attached is a list of questions received about the solicitation and the responses. (Exhibit 5)

By:   
James Marshall  
Supervisory Contract Specialist

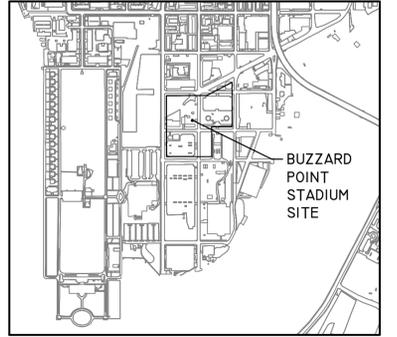
Date: 11-24-18

# BUZZARD POINT DEMOLITION PLANS 2015



**SITE LOCATION MAP**  
NTS

JOB	W12-2600	SHEET	1	OF	28
NO.	DESCRIPTION	BY	DATE		



**VICINITY MAP**  
SCALE: 1"=1000'

**BUZZARD POINT  
DEMOLITION INDEX OF DRAWINGS**

- 0001 OVERALL SITE LOCATION MAP
- 0002 AERIAL SITE PLAN
- 0003 ROAD CLOSURE SIGNAGE PLAN
- 0004 EXISTING CONDITIONS
- SUPER SALVAGE DEMOLITION SET
- AKRIDGE DEMOLITION SET
- EIN PROPERTY DEMOLITION SET
- SALT DOME DEMOLITION SET

NO.	DESCRIPTION	BY	DATE
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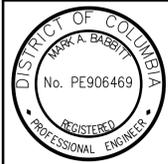
PUBLIC SPACE REVIEW  
McKISSACK AND McKISSACK  
ENGINEERING

BUZZARD POINT  
AKRIDGE WAREHOUSE DEMOLITION

**OVERALL SITE LOCATION MAP**

DEMOLITION	
SCALE	DRAWN PES
INTERCEPTOR	CHECKED MAB
SYSTEM	SUBMITTED M BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_0000_DEMOLITION COVER1

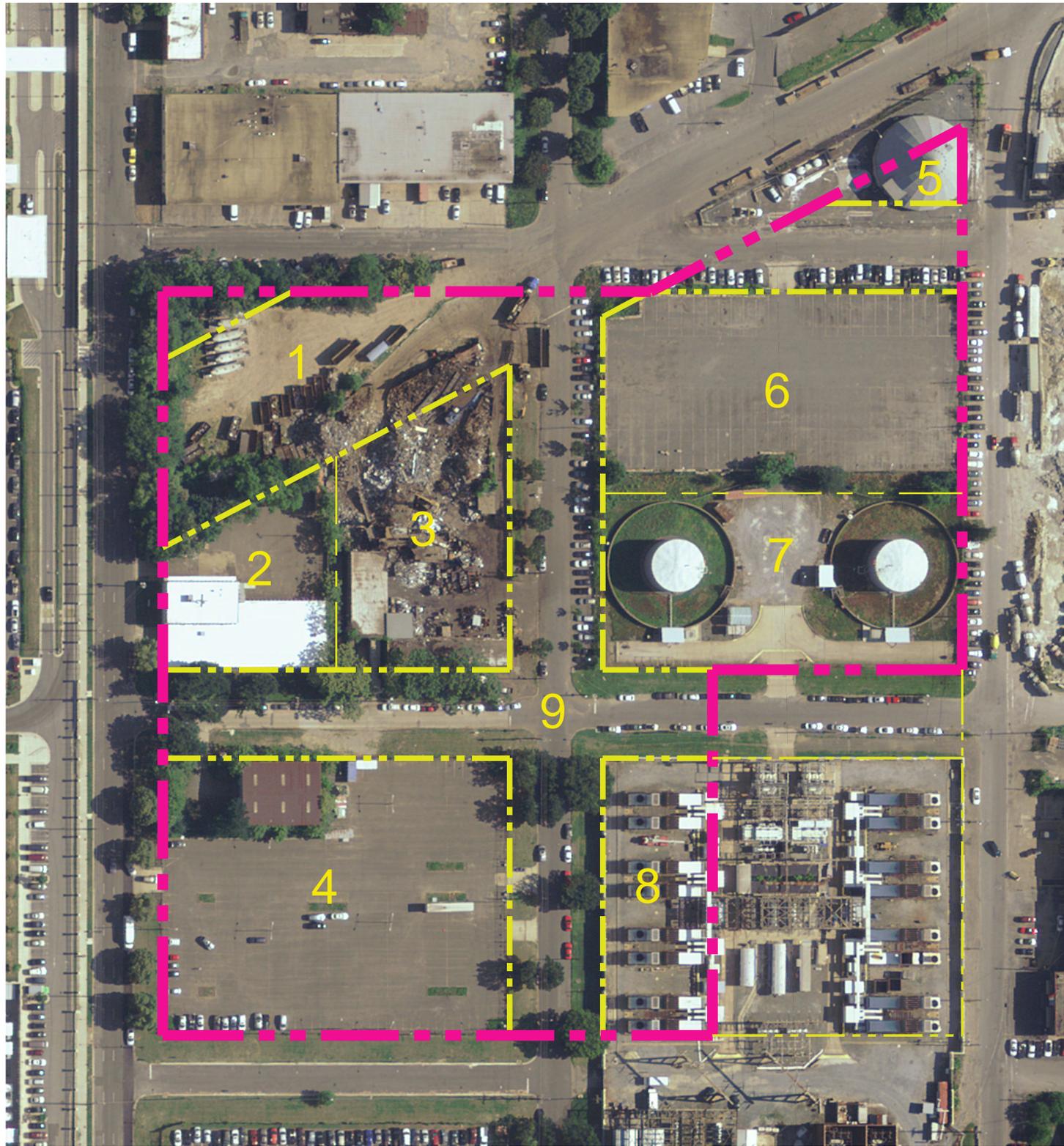
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VERIFICATION  
SCALE

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**AERIAL SITE PLAN**  
NTS

**NOTE:**  
SEE SHEET 0003 FOR THE REMOVAL OF ALL INTERIOR FENCING ONCE THE CONSOLIDATED SITE HAS BEEN SECURED. REMOVAL OF FENCING IS NOT LIMITED TO THAT SHOWN. CONTRACTOR TO VERIFY QUANTITIES.

**BUZZARD POINT DEMOLITION  
PROPERTY IDENTIFICATION SUMMARY**

- POTOMAC RIGHT-OF-WAY AND DISTRICT PARCEL
- 1 REMOVE ALL DEBRIS FROM AREA, REMOVE ALL ELEVATED CURB/SLABS, REMOVE TREES AND VEGETATION AT PERIMETER OF SITE (ANY TREE OVER 55" SHALL REQUIRE A SPECIAL PERMIT FROM THE URBAN FORESTRY ADMINISTRATION) AND REMOVE EARTH BERM AND ANY DEBRIS WITHIN THE BERM AND REDISTRIBUTE TO FLATTEN AREA. STORAGE TANK TO BE REMOVED BY A QUALIFIED REMOVAL COMPANY.
  - 2 EIN PROPERTY (SQUARE 0605 LOT 0007)  
SEE ATTACHED DOCUMENTS FOR DEMOLITION REQUIREMENTS.
  - 3 SUPER SALVAGE PROPERTY (SQUARE 0605 LOT 0802)  
SEE ATTACHED DOCUMENTS FOR DEMOLITION REQUIREMENTS.
  - 4 AKRIDGE PROPERTY (SQUARE 0607 LOT 0013)  
SEE ATTACHED DOCUMENTS FOR DEMOLITION REQUIREMENTS.
  - 5 WASHINGTON DC (SALT DOME) (SQUARE 0661 LOT 0800)  
SEE ATTACHED DOCUMENTS FOR DEMOLITION REQUIREMENTS. DEMOLITION CANNOT COMMENCE UNTIL APRIL 2016 AND WITH DDOT APPROVAL.
  - 6 PEPCO PROPERTY (SQUARE 0661 LOT 0805)  
REMOVE ALL CONCRETE BLOCKS, WHEEL STOPS AND CURBING IN THIS AREA. REMOVE ALL LIGHT POLES AND LIGHT POLE FOUNDATIONS TO GRADE. BACKFILL ANY VOIDS CREATED BY THE REMOVAL OF THE FOUNDATIONS WITH CR-6 BACK TO GRADE. REMOVE TREES AND VEGETATION AS REQUIRED. (ANY TREE OVER 55" SHALL REQUIRE A SPECIAL PERMIT FROM THE URBAN FORESTRY ADMINISTRATION).
  - 7 PEPCO PROPERTY (SQUARE 0661 LOT 0804)  
REMOVE ALL ELEVATED CONCRETE, CURBS AND CONCRETE CONTAINMENT BERMS. EXISTING STANDPIPE TO BE REMOVED TO GRADE. REMOVE ALL LIGHT POLES AND LIGHT POLE FOUNDATIONS TO GRADE. BACKFILL ANY VOIDS CREATED BY THE REMOVAL OF THE FOUNDATIONS WITH CR-6 BACK TO GRADE. REMOVE TREES AND VEGETATION AS REQUIRED. (ANY TREE OVER 55" SHALL REQUIRE A SPECIAL PERMIT FROM THE URBAN FORESTRY ADMINISTRATION). DEMOLITION CANNOT COMMENCE UNTIL APRIL 2016 AND WITH DDOT APPROVAL. (DEMOLITION TO COINCIDE WITH THE SALT DOME DEMOLITION)
  - 8 PEPCO PROPERTY (SQUARE 0665 p/o LOT 0024)  
REMOVE APPROXIMATELY 375 FEET OF CONCRETE MASONRY WALL. DEMOLITION CANNOT COMMENCE UNTIL APRIL 2016 AND WITH DDOT APPROVAL. (DEMOLITION TO COINCIDE WITH THE SALT DOME DEMOLITION)  
REMOVE ANY STANDPIPES TO GRADE.
  - 9 ROAD CLOSURE (PUBLIC SPACE)  
REMOVE ALL SIGNAGE, METER POLES, CARD READERS, BOLLARDS AND CONCRETE BLOCKS.  
REMOVE STREET TREES AT THE DIRECTION OF THE URBAN FORESTRY ADMINISTRATION.

JOB	W12-2600	SHEET	2	OF	28
REVISION					
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
CONSTRUCTION DOCUMENTS			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT SITE CONSTRUCTION PLAN			
AERIAL SITE PLAN			
DEMOLITION			
SCALE	DRAWN	PES	
INTERCEPTOR	CHECKED	MAB	
SYSTEM	SUBMITTED	M BABBITT	
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_0000_DEMOLITION COVER2		

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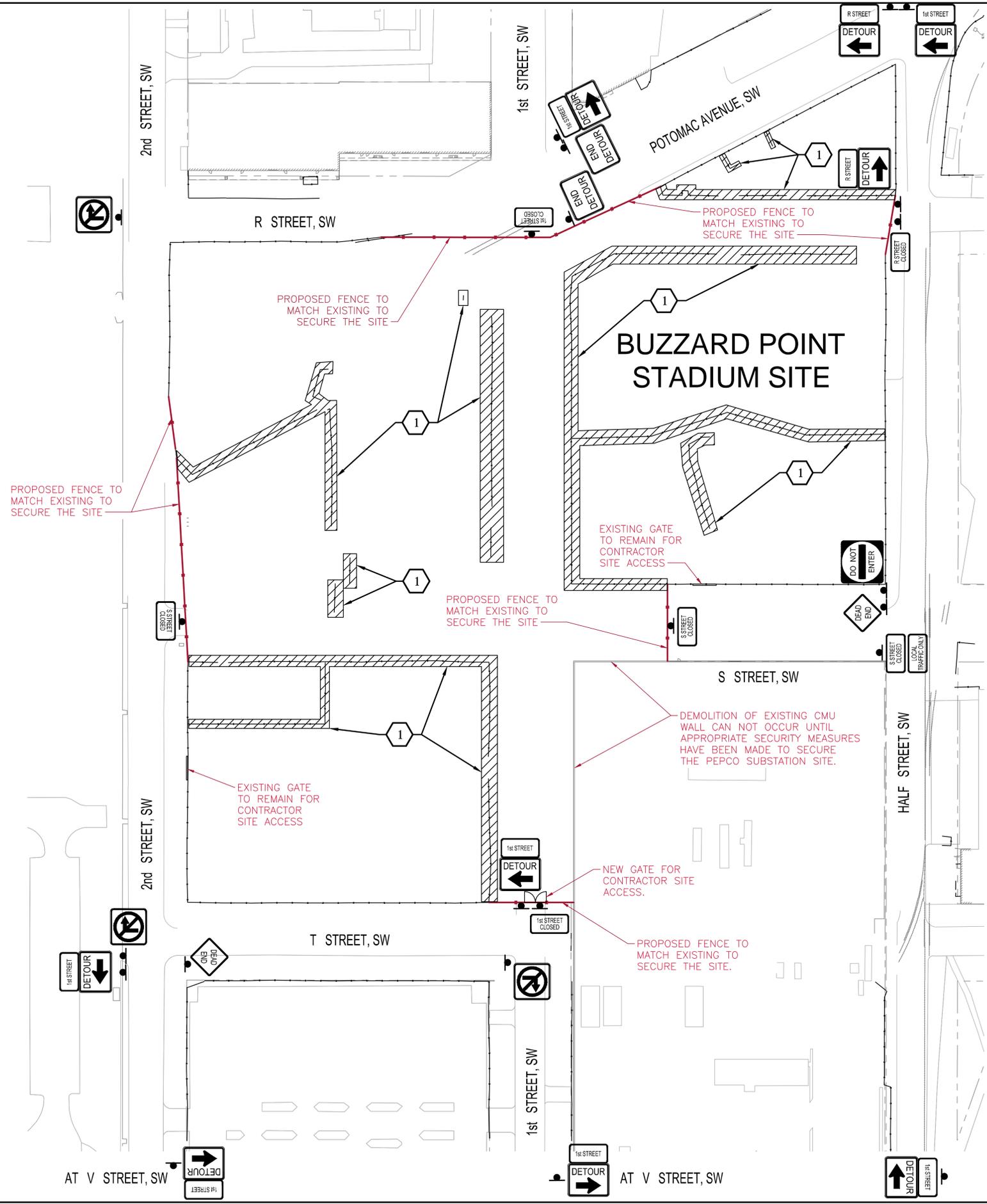
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JOB	W12-2600	SHEET	3	OF	28
REVISION					
NO.	DESCRIPTION	BY	DATE		

**GENERAL NOTE:**

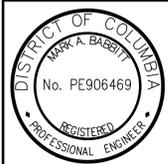
- ALL GATES AND OPENINGS IN THE PERIMETER FENCING ARE TO BE CLOSED AND SECURED AT THE TIME OF THE ROADS BEING CLOSED.

**CODED NOTE:**

① REMOVE ALL INTERIOR FENCING ONCE THE PERIMETER FENCING HAS BEEN INSTALLED AND THE CONSOLIDATED SITE HAS BEEN SECURED.

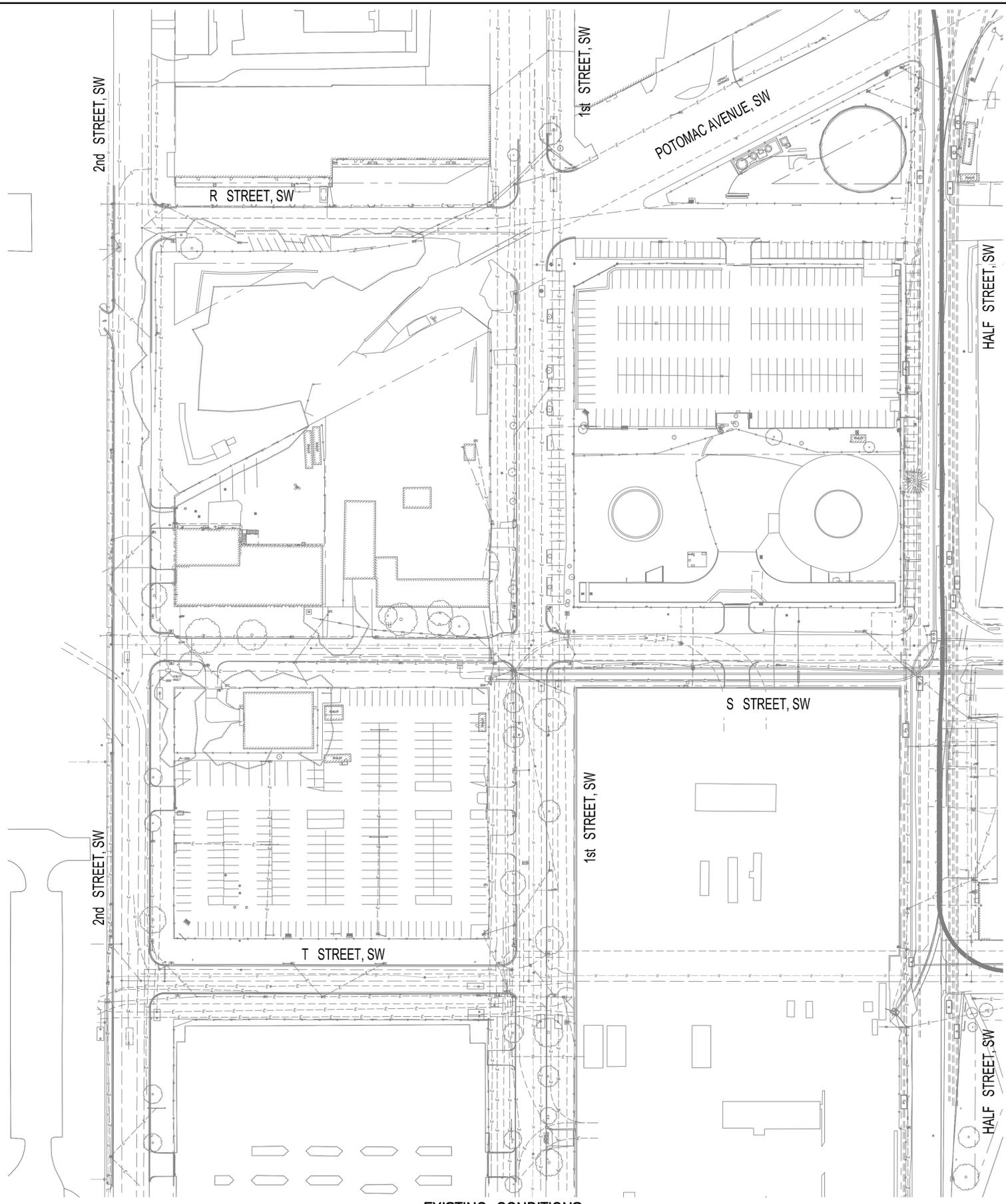
NO.	DESCRIPTION	BY	DATE
CONSTRUCTION DOCUMENTS			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT SITE CONSTRUCTION PLAN			
<b>ROAD CLOSURE SIGNAGE PLAN</b>			
SCALE	INTERCEPTOR	DRAWN	PES
SYSTEM	SURVEYED	CHECKED	MAB
DATE	JULY 2015	SUBMITTED	M. BABBITT
CADD FILE	BZPT_0000_DEMOLITION_COVER3	RECOMMENDED	

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 VERIFICATION  
 SCALE



**EXISTING CONDITIONS**  
 NTS

10 INCHES

JOB	W12-2600	SHEET	4	OF	28
REVISION					
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
CONSTRUCTION DOCUMENTS			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT SITE CONSTRUCTION PLAN			
EXISTING CONDITIONS			
SCALE	INTERCEPTOR	DRAWN	PES
SYSTEM	SURVEYED	CHECKED	MAB
DATE	JULY 2015	SUBMITTED	M. BABBITT
CADD FILE	BZPT_0000_DEMOLITION_COVER4	RECOMMENDED	

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL ALERT THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION OPERATION AND SHALL ASCERTAIN THE LOCATION OF NEARBY UNDERGROUND UTILITIES. NO EXCAVATION IS PERMITTED UNTIL THE LOCATION OF UTILITIES ARE MARKED.
2. THE CONTRACT SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND SHALL OBTAIN THE NECESSARY PERMITS PRIOR TO DEMOLITION.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE BEEN ESTABLISHED BASED ON INFORMATION FROM RECORD AND CONTRACT DRAWINGS OF PAST AND PRESENT PROJECTS, TEST TRENCHES, AND FIELD SURVEYS. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY DMPED/DGS/McKISSACK & McKISSACK OF ANY CONFLICT UPON EXCAVATION AT ANY AND ALL SUCH LOCATIONS.
4. ALL CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, WORK AREA, MATERIAL, EQUIPMENT STORAGE, AND FIELD OFFICES MUST BE CONFINED TO THE DESIGNATED SPACES AS INDICATED ON THE DRAWINGS.
5. EXISTING SITE CONDITIONS IN OTHER AREAS (SUCH AS CONTOURS, ELEVATIONS, ROADWAY AND BUILDING LOCATIONS, ETC.) ARE BASED ON INFORMATION FROM RECORD DRAWINGS AND PARTIAL FIELD SURVEYS. CONTRACTOR TO VERIFY ALL LOCATIONS IN THE FIELD.
6. TEST TRENCHES FOR THE PURPOSE OF EXPOSING AND RECORDING THE LOCATIONS OF EXISTING UTILITIES, STRUCTURES AND DUCTBANKS ARE REQUIRED PRIOR TO START OF DEMOLITION.
7. CONTRACTOR TO VERIFY ALL UTILITIES HAVE BEEN DISCONNECTED PRIOR TO DEMOLITION.
8. EXISTING AND MODIFIED DATA SHOWN ON THE DRAWINGS SUCH AS STATIONS, DIMENSIONS, CONTOURS AND ELEVATIONS ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND VERIFYING ALL SITE CONDITIONS AND IS RESPONSIBLE FOR ALL CONTENT SHOWN AND NOT SHOWN EXCEPT WERE NOTED.
10. CONTRACTOR SHALL SUBMIT AND EXECUTE A DUST CONTROL PLAN OUTLINING PROTOCOLS AND PROCEDURES FOR THE SPRAYING OF DUST PILES, CONTAINMENT OF FUGITIVE DUST, CONTINUOUS DUST MONITORING AND APPROPRIATE ADJUSTMENT MEASURES TO ACCOMMODATE CHANGES IN ENVIRONMENTAL CONDITIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS AIR MONITORING DURING DEMOLITION.

SYMBOLS	
DESCRIPTION	EXISTING
LIGHT POLE	⊙ LP
ELECTRICAL MANHOLE	⊕
COMMUNICATIONS MANHOLE	⊕ OR ⊕
CITY WATER VALVE CASING	⊕ W
STORM SEWER MANHOLE	⊕ D
SANITARY SEWER MANHOLE	⊕ S
CATCH BASIN	□ CB
UTILITY POLE	⊕
CURB & GUTTER	====
CHAIN LINK FENCE	— X —
W BEAM GUIDERAIL	— + + + —
GAS LINE	— G —
ELECTRICAL LINE	— E —
WATER LINE	— W —
OVERHEAD ELETRICAL	— OHE —
TREE LINE	~~~~~

**ABBREVIATIONS:**

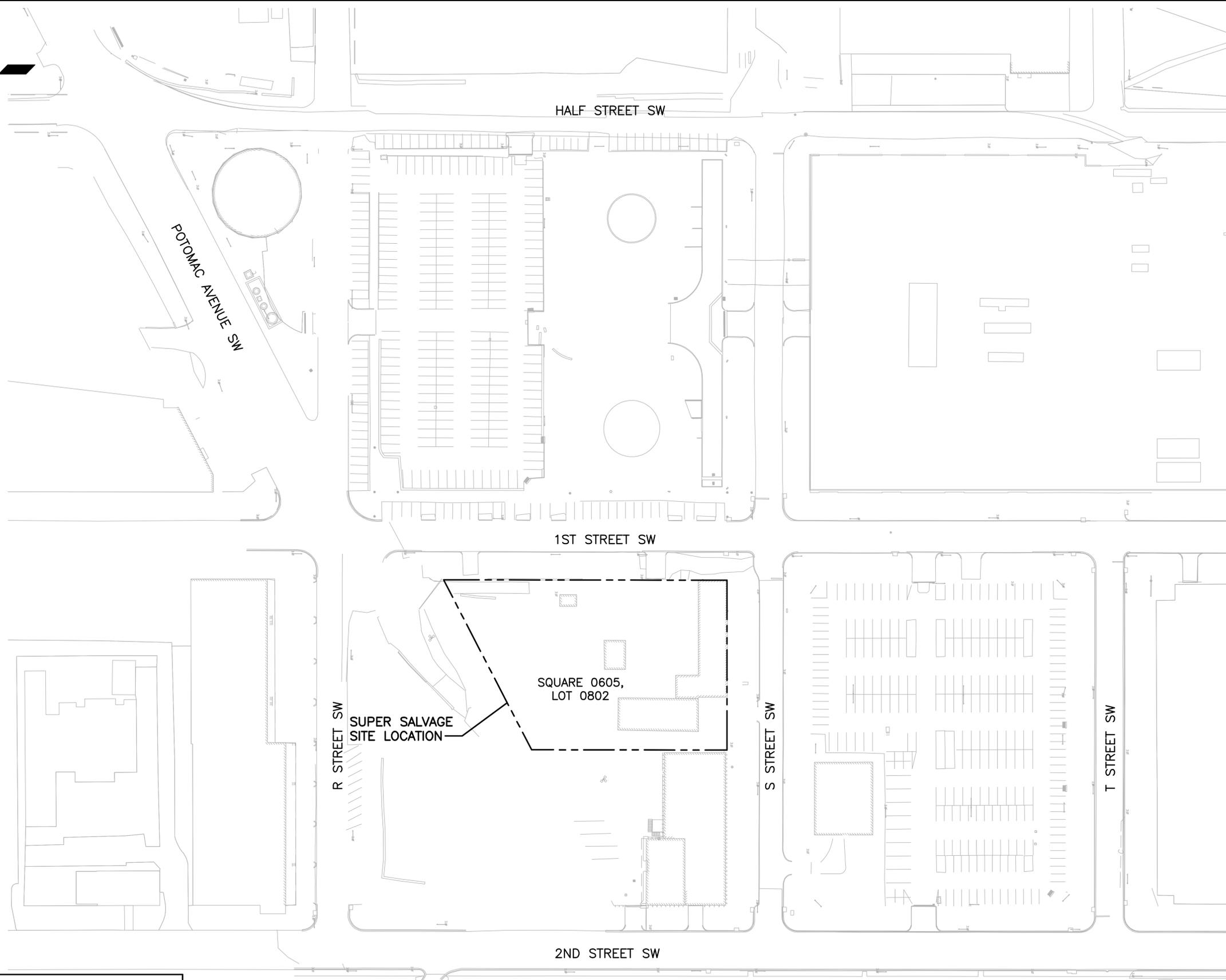
ABAN	ABANDONED
ASC	AMERICAN SURVEYING CONSULTANTS
ASL	ALTERNATE SLUDGE (SPARE LINE)
BIT	BITUMINOUS
BL	BASELINE
BLDG	BUILDING
BW	BACK OF WALK
CB	CATCH BASIN
CCJM	C.C. JOHNSON AND MALHOTRA
CG	CHANGE OF GRADE
CL	CHLORINE
CLS	CHLORINE SOLUTION
CLF	CHAIN LINK FENCE
C&G	CURB AND GUTTER
CSMH	COMMUNICATIONS SYSTEM MANHOLE
COMM	COMMUNICATIONS
CRS	CHEMICAL RECEIVING STATION
CW	CITY WATER
DB	DUCT BANK
D	DRAIN
DI	DROP INLET
DIP	DUCTILE IRON PIPE
E	EAST
ELEC	ELECTRIC
EL/ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
ETR	EXISTING TO REMAIN
FF	FIRST FLOOR
FM	FORCE MAIN
FT	FEET
GPR	GROUND PENETRATING RADAR
HPNG	HIGH PRESSURE NATURAL GAS
HPT	HIGH POINT
IN	INCH
INS	INSERTION
INV	INVERT
LC	LENGTH OF CURVE
LP	LIGHT POLE
LPT	LOW POINT
LT	LEFT
MG	MEET GRADE
MH	MANHOLE
MISC	MISCELLANEOUS
MON	MONUMENT
MS	MULTIPURPOSE SLUDGE
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
OMD	OFFICE MANUAL DRAWING
PC	POINT OF CURVE
PCC	PORTLAND CEMENT CONCRETE
PCCP	PRESTRESSED CONCRETE CYLINDER PIPE
DRN	PROCESS DRAIN
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PM	PROCESS MANHOLE
POC	POINT ON CURVE
POT	POINT ON TANGENT
PROP	PROPOSED
RPT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCCP	REINFORCED CONCRETE PRESSURE PIPE
RD	ROOF DRAIN
REF	ROOF EXHAUST FAN
RR	RAILROAD
RT	RIGHT
S	SOUTH
SMH	SANITARY SEWER MANHOLE
SRPS	SITE RUNOFF PUMP STATION
STMH	STORM SEWER MANHOLE
SD	STORM DRAIN
SDBC	DUCT BANK GROUND WIRE STATION
STA	STATION
TC	TOP OF CURB
TEL	TELEPHONE
TOC	TOP OF CASTING
TOS	TOP OF SLAB
TYP	TYPICAL
VAR	VARIABLE
VC	VITRIFIED CLAY
W	WEST
WMH	WATER MANHOLE
X-RAIN	CROSS DRAIN
YH	YARD HYDRANT

JOB	W12-2600	SHEET	5	OF	28
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT SUPER SALVAGE SITE DEMOLITION			
<b>NOTES AND ABBREVIATIONS</b>			
<b>DEMOLITION</b>			
SCALE		DRAWN	CEC
INTERCEPTOR		CHECKED	JUH
SYSTEM		SUBMITTED	M BABBITT
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_D001_DEMOLITION_ABBREVIATION		

McKISSACK & McKISSACK  
No. PE906469  
REGISTERED  
PROFESSIONAL ENGINEER

**McKissack & McKissack**  
901 K Street, NW, Suite 600  
Washington, DC 20001  
[www.mckissackdc.com](http://www.mckissackdc.com)



HALF STREET SW

POTOMAC AVENUE SW

1ST STREET SW

SQUARE 0605,  
LOT 0802

SUPER SALVAGE  
SITE LOCATION

R STREET SW

S STREET SW

T STREET SW

2ND STREET SW

**SUPER SALVAGE SITE**  
SCALE: 1"=50'

JOB W12-2600 SHEET 6 OF 28

NO.	DESCRIPTION	BY	DATE

**GENERAL NOTES:**

- 1711 FIRST STREET, SW, SQUARE 0605, LOT 0802 IS OWNED BY SUPER SALVAGE, INC. WHICH OPERATES A SALVAGE YARD FOR DIVERSE METAL STRUCTURES.
- THIS LOT IS OPERATED AS A METAL SCRAP YARD SINCE THE 1960S. THE PROPERTY CONSISTS OF THE FOLLOWING CONCRETE MASONRY BUILDINGS: A TWO-STORY MAIN BUILDING (BUILDING 1); AN OPEN WAREHOUSE ADJACENT TO THE MAIN BUILDING (BUILDING 2); A CENTER ONE-STORY STRUCTURE (BUILDING 3); AND A REAR OFFICE SHACK (BUILDING 4).
- THE TWO-STORY MAIN BUILDING IS UTILIZED BY THE SUPER SALVAGE FOR OFFICES AND STORAGE. THE EAST FIRST FLOOR LEVEL OF THE BUILDING HAS OFFICES AND RESTROOMS. THE WEST FIRST FLOOR LEVEL HAS A LARGE WAREHOUSE WITH A STAIRWELL THAT LEADS TO THE SECOND FLOOR STORAGE AREA. THE WEST OPEN WAREHOUSE CONTAINS MACHINERY. THE CENTER STRUCTURE IS SURROUNDED BY DEBRIS PILES AND HAS A STAIRWELL THAT LEADS TO THE ROOF. THE REAR SMALL BUILDING IS AN OFFICE.
- DEMOLITION WORK SHALL COMMENCE ONLY AFTER THE LOCATION AND CAPPING OF UNDERGROUND UTILITIES AND THE REMOVAL OF OVERHEAD UTILITIES SERVICING THE BUILDINGS TO BE DEMOLISHED.

NO.	DESCRIPTION	BY	DATE

**PUBLIC SPACE REVIEW**

McKISSACK AND McKISSACK  
ENGINEERING

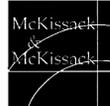
BUZZARD POINT  
SUPER SALVAGE SITE DEMOLITION

**SITE LOCATION PLAN**

**DEMOLITION**

SCALE	DRAWN	CEC
INTERCEPTOR	CHECKED	JUH
SYSTEM	SUBMITTED	M BABBITT
SURVEYED		
DATE	JULY 2015	RECOMMENDED
CADD FILE	BZPT_D001_DEMOLITION_SITE_PLAN	

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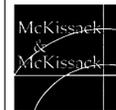
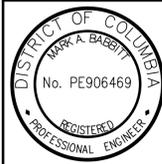


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REDUCTION  
VERIFICATION  
SCALE

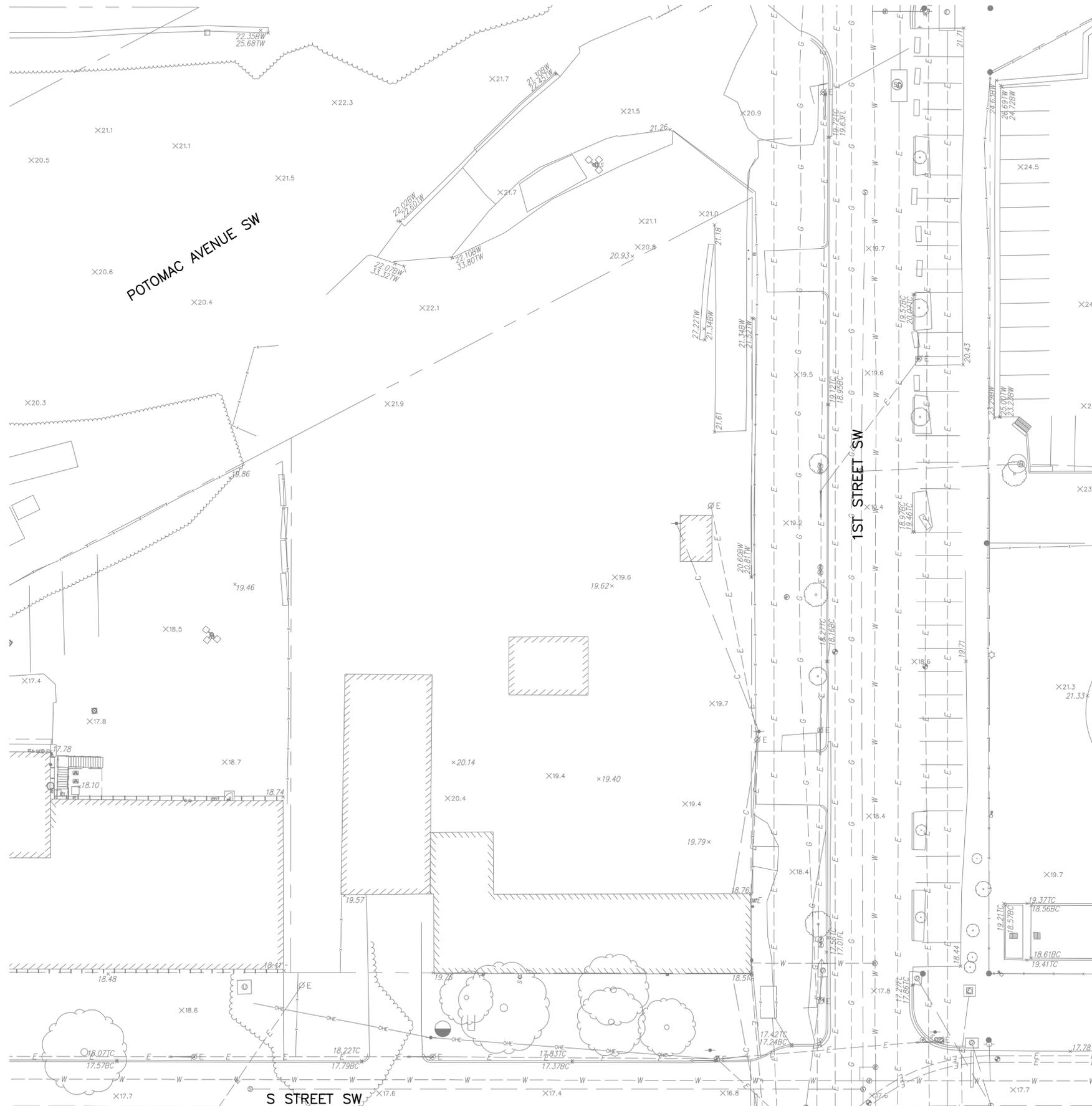
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 Drawing ID: G:\V12-2600 BUZZARD SUPER SALVAGE SITE DEMOLITION UTILITY PLANS.DWG



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REDUCTION  
 VERIFICATION  
 SCALE



**EXISTING UTILITY PLAN**  
 SCALE: 1"=20'

10 INCHES

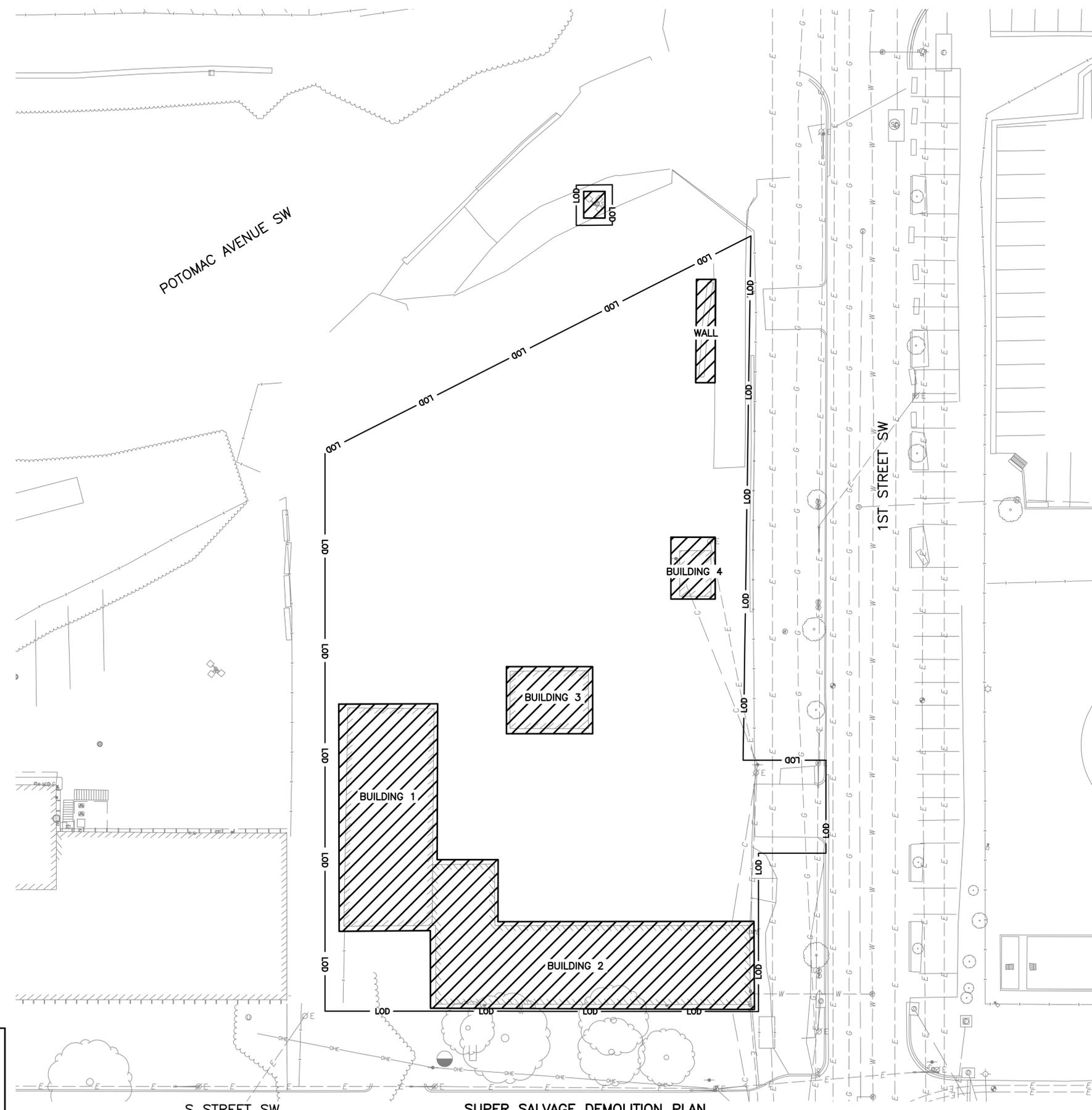


JOB	W12-2600	SHEET	7	OF	28
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
	PUBLIC SPACE REVIEW		
	McKISSACK AND McKISSACK ENGINEERING		
	BUZZARD POINT SUPER SALVAGE SITE DEMOLITION		
	EXISTING UTILITIES		
	DEMOLITION		
SCALE	INTERCEPTOR	DRAWN	CEC
SYSTEM	SURVEYED	CHECKED	JUH
DATE	JULY 2015	RECOMMENDED	M. BABBITT
CADD FILE	BZPT_D002_DEMOLITION UTILITY PLANS		

D003

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**ENVIRONMENTAL INVENTORY**

THE FOLLOWING IS FROM THE RESULTS FROM THE JULY 28, 2015 HAZARDOUS MATERIAL SURVEY CONDUCTED BY ECS MID-ATLANTIC, LLC:

**ASBESTOS-CONTAINING MATERIALS:**

- FRONT OFFICE 9" X 9" GRAY FLOOR TILE - 5% CHRYSOTILE
- REAR OFFICE GRAY INTERIOR WINDOW CAULK - 4% CHRYSOTILE
- REAR OFFICE BATHROOM WHITE INTERIOR WINDOW GLAZE - 2% CHRYSOTILE
- FRONT OFFICE 12" X 12" TAN FLOOR TILE (INSUFFICIENT MASTIC) - 2% CHRYSOTILE
- 1711 1ST ST SW FRONT OFFICE 12" X 12" TAN FLOOR TILE (TILE #2) - 5% CHRYSOTILE
- 2ND FLOOR STORAGE AREA PIPE INSULATION - 50% CHRYSOTILE
- EXTERIOR MAIN BUILDING WHITE EXTERIOR WINDOW CAULK - 2% CHRYSOTILE
- ROOF FLASHING - 10% CHRYSOTILE
- ROOF GRAY COPING STONE CAULK - 6% CHRYSOTILE

**SRF LEAD BASED PAINT SUMMARY:**

- REAR OFFICE METAL GREEN WINDOW APRON - Pb 1.00

JOB	W12-2600	SHEET	8	OF	28
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NO.	DESCRIPTION	BY	DATE

**DEMOLITION NOTES:**

1. DEMOLISH, COMPLETELY, DOWN TO GRADE EVERYTHING WITHIN THE AREA OF DEMOLITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE AND SAFE REMOVAL OR REMEDIATION OF ANY HAZARDOUS MATERIALS FOUND IN THE DEMOLITION LIMITS REPRESENTED IN THE DEMOLITION DRAWINGS INCLUDING BUT NOT LIMITED TO THOSE LISTED IN THE ENVIRONMENTAL INVENTORY ON THIS PAGE.
3. REMOVE ALL EXISTING SURFACE MOUNTED FIXTURES, WIRING OR ANY ATTACHMENTS AND MISCELLANEOUS DEBRIS LEFT WITHIN THE DEMOLITION AREA.
4. REMOVE ALL DEBRIS WITHIN LIMITS OF DEMOLITION.
5. DEMOLISH EXISTING WALL ON NORTH EAST CORNER OF SITE, AND WALL FOUNDATION. BACKFILL TO GRADE WITH CR6. ALL FILL SHALL BE PROPERLY COMPACTED WHEN PLACED.

**LEGEND:**

- LOD — LIMITS OF DEMOLITION
- AREA OF DEMOLITION

**NOTE:**  
 AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

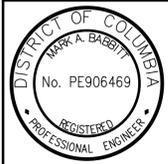
NO.	DESCRIPTION	BY	DATE

PUBLIC SPACE REVIEW  
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 ENGINEERING

BUZZARD POINT  
 SUPER SALVAGE SITE DEMOLITION

**DEMOLITION PLAN**

DEMOLITION	
SCALE	DRAWN CEC
INTERCEPTOR	CHECKED JUH
SYSTEM	SUBMITTED M. BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_D002_DEMOLITION FLOOR PLANS



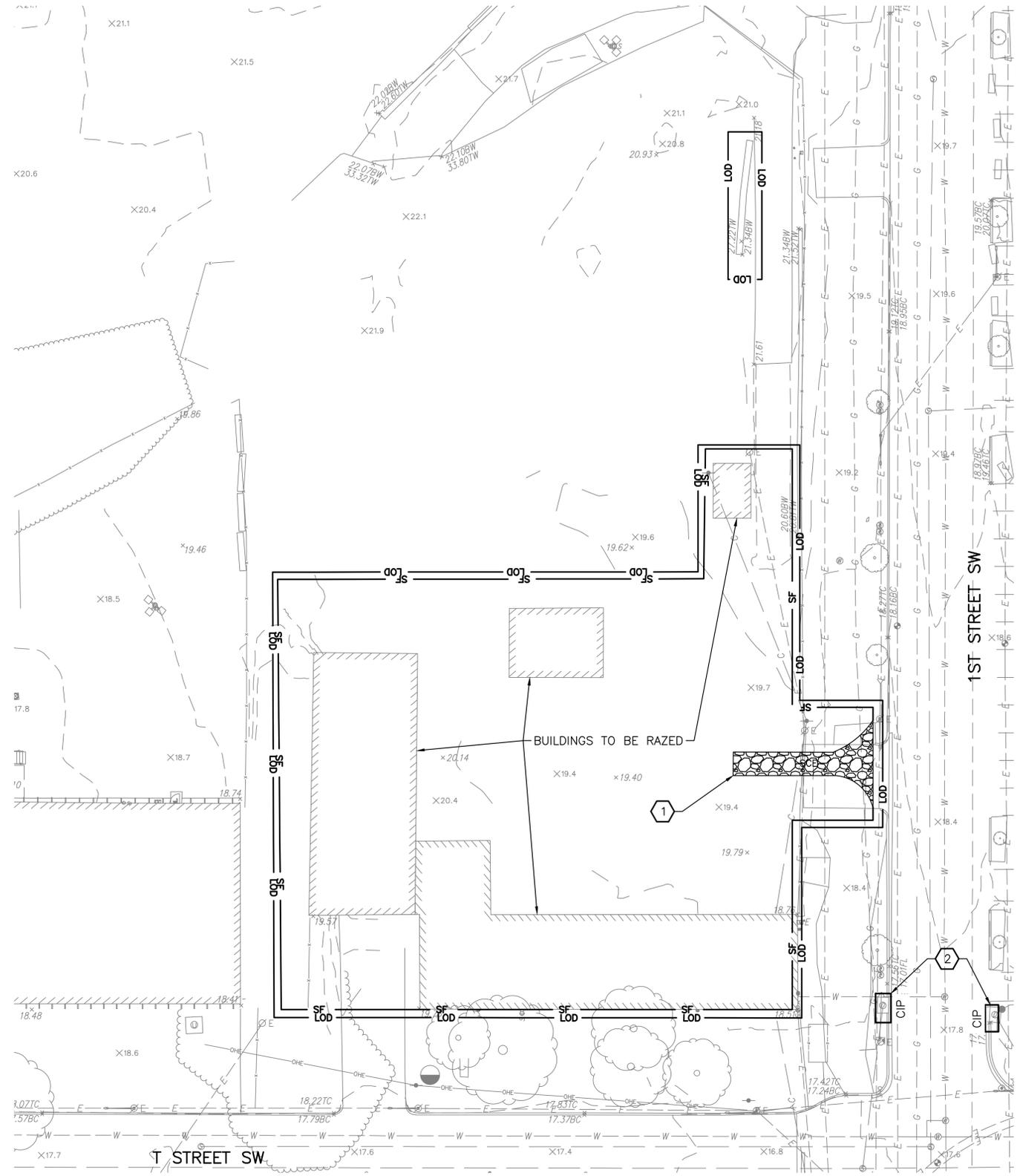
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**SCALE: 1"=20'**

10 INCHES

REDUCTION VERIFICATION SCALE

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 Drawing ID: G:\V12-2600 BUZZARDIS POINT\30 D CAD DOCUMENTS\3-3 PRODUCTION\2 CIVIL\SHEETS\BZPT\_DOEE001\_EROSION AND SEDIMENT CONTROL.DWG



**SUPER SALVAGE EROSION AND SEDIMENT CONTROL PLAN**  
SCALE: 1" = 20'-0"

JOB	W12-2600	SHEET	9	OF	28
NO.	DESCRIPTION	BY	DATE		

- GENERAL NOTES:**
1. COMPLY WITH EROSION CONTROL NOTES ON DRAWING DOEE002.
  2. FOR EROSION AND SEDIMENT CONTROL DETAILS SEE DRAWING DOEE002.
  3. HAY BALES MAY BE REQUIRED DEPENDING ON UNKNOWN GROUND CONDITIONS

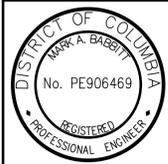
- CODED NOTES:**
- ① STABILIZED CONSTRUCTION ENTRANCE
  - ② CURB INLET PROTECTION

- LEGEND:**
- SF — SILT FENCE
  - STABILIZED CONSTRUCTION ENTRANCE
  - LOD — LIMIT OF DISTURBANCE
  - CURB INLET PROTECTION

**NOTE:**  
 AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

NO.	DESCRIPTION	BY	DATE

PUBLIC SPACE REVIEW	
McKISSACK and McKISSACK ENGINEERING	
BUZZARD POINT SUPER SALVAGE SITE DEMOLITION	
<b>EROSION AND SEDIMENT CONTROL PLAN</b>	
<b>DEMOLITION</b>	
SCALE	DRAWN CEC
INTERCEPTOR	CHECKED JUH
SYSTEM	SUBMITTED M. BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_DOEE001_EROSION AND SEDIMENT CONTROL



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REDUCTION VERIFICATION SCALE

10 INCHES

DOEE001



**GENERAL NOTES:**

1. THE CONTRACTOR SHALL ALERT THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION OPERATION AND SHALL ASCERTAIN THE LOCATION OF NEARBY UNDERGROUND UTILITIES. NO EXCAVATION IS PERMITTED UNTIL THE LOCATION OF UTILITIES ARE MARKED.
2. THE CONTRACT SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND SHALL OBTAIN THE NECESSARY PERMITS PRIOR TO DEMOLITION.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE BEEN ESTABLISHED BASED ON INFORMATION FROM RECORD AND CONTRACT DRAWINGS OF PAST AND PRESENT PROJECTS, TEST TRENCHES, AND FIELD SURVEYS. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY DMPED/DGS/McKISSACK & McKISSACK OF ANY CONFLICT UPON EXCAVATION AT ANY AND ALL SUCH LOCATIONS.
4. ALL CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, WORK AREA, MATERIAL, EQUIPMENT STORAGE, AND FIELD OFFICES MUST BE CONFINED TO THE DESIGNATED SPACES AS INDICATED ON THE DRAWINGS.
5. EXISTING SITE CONDITIONS IN OTHER AREAS (SUCH AS CONTOURS, ELEVATIONS, ROADWAY AND BUILDING LOCATIONS, ETC.) ARE BASED ON INFORMATION FROM RECORD DRAWINGS AND PARTIAL FIELD SURVEYS. CONTRACTOR TO VERIFY ALL LOCATIONS IN THE FIELD.
6. TEST TRENCHES FOR THE PURPOSE OF EXPOSING AND RECORDING THE LOCATIONS OF EXISTING UTILITIES, STRUCTURES AND DUCTBANKS ARE REQUIRED PRIOR TO START OF DEMOLITION.
7. CONTRACTOR TO VERIFY ALL UTILITIES HAVE BEEN DISCONNECTED PRIOR TO DEMOLITION.
8. EXISTING AND MODIFIED DATA SHOWN ON THE DRAWINGS SUCH AS STATIONS, DIMENSIONS, CONTOURS AND ELEVATIONS ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND VERIFYING ALL SITE CONDITIONS AND IS RESPONSIBLE FOR ALL CONTENT SHOWN AND NOT SHOWN EXCEPT WERE NOTED.
10. CONTRACTOR SHALL SUBMIT AND EXECUTE A DUST CONTROL PLAN OUTLINING PROTOCOLS AND PROCEDURES FOR THE SPRAYING OF DUST PILES, CONTAINMENT OF FUGITIVE DUST, CONTINUOUS DUST MONITORING AND APPROPRIATE ADJUSTMENT MEASURES TO ACCOMMODATE CHANGES IN ENVIRONMENTAL CONDITIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS AIR MONITORING DURING DEMOLITION.

SYMBOLS	
DESCRIPTION	EXISTING
LIGHT POLE	⊙ LP
ELECTRICAL MANHOLE	⊕
COMMUNICATIONS MANHOLE	⊕ OR ⊕
CITY WATER VALVE CASING	⊕ W
STORM SEWER MANHOLE	⊕ D
SANITARY SEWER MANHOLE	⊕ S
CATCH BASIN	□ CB
UTILITY POLE	⊕
CURB & GUTTER	====
CHAIN LINK FENCE	— X —
W BEAM GUIDERAIL	— I —
GAS LINE	— G —
ELECTRICAL LINE	— E —
WATER LINE	— W —
OVERHEAD ELETRICAL	— OHE —
TREE LINE	~~~~

**ABBREVIATIONS:**

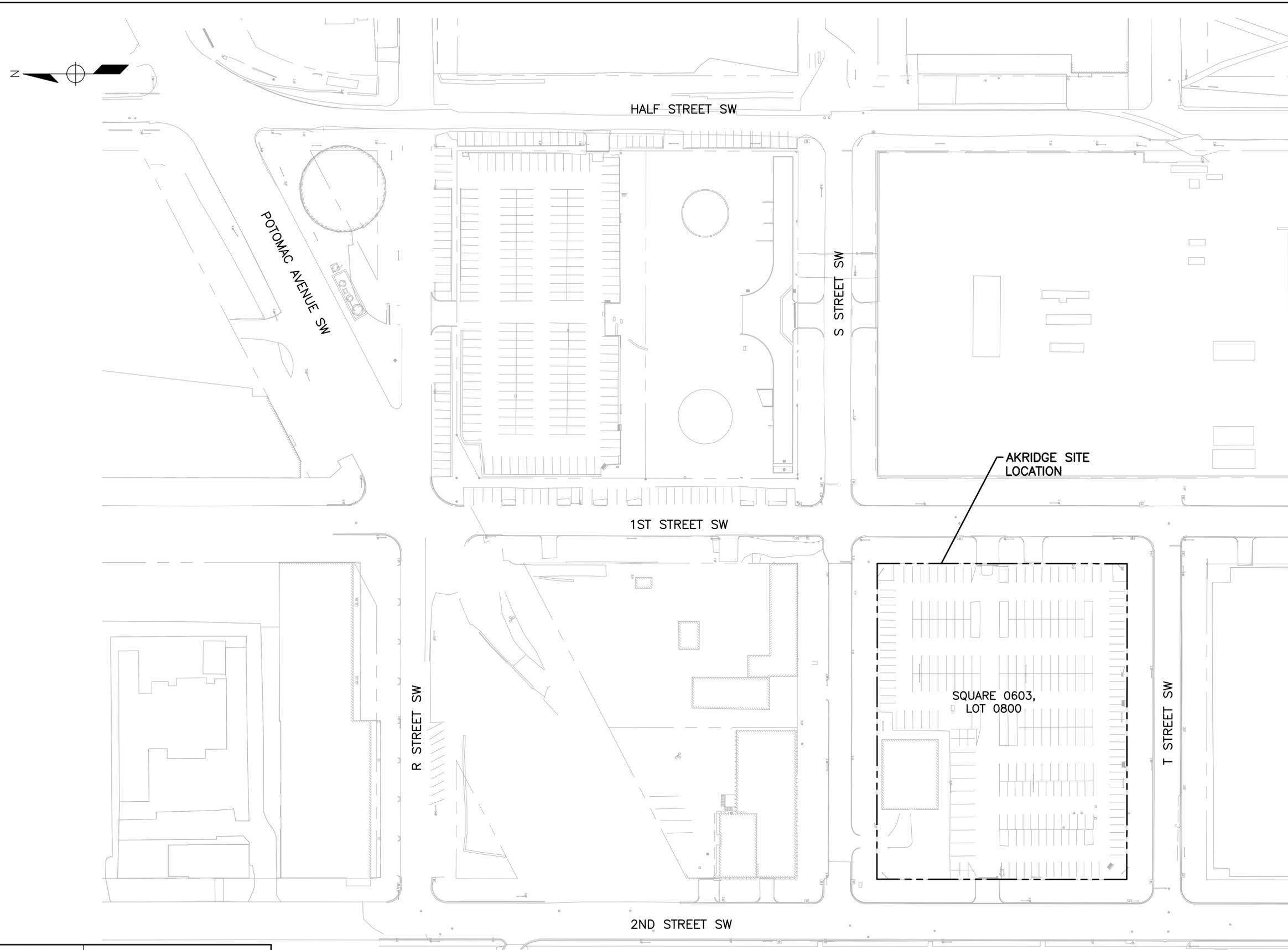
ABAN	ABANDONED
ASC	AMERICAN SURVEYING CONSULTANTS
ASL	ALTERNATE SLUDGE (SPARE LINE)
BIT	BITUMINOUS
BL	BASELINE
BLDG	BUILDING
BW	BACK OF WALK
CB	CATCH BASIN
CCJM	C.C. JOHNSON AND MALHOTRA
CG	CHANGE OF GRADE
CL	CHLORINE
CLS	CHLORINE SOLUTION
CLF	CHAIN LINK FENCE
C&G	CURB AND GUTTER
CSMH	COMMUNICATIONS SYSTEM MANHOLE
COMM	COMMUNICATIONS
CRS	CHEMICAL RECEIVING STATION
CW	CITY WATER
DB	DUCT BANK
D	DRAIN
DI	DROP INLET
DIP	DUCTILE IRON PIPE
E	EAST
ELEC	ELECTRIC
EL/ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
ETR	EXISTING TO REMAIN
FF	FIRST FLOOR
FM	FORCE MAIN
FT	FEET
GPR	GROUND PENETRATING RADAR
HPNG	HIGH PRESSURE NATURAL GAS
HPT	HIGH POINT
IN	INCH
INS	INSERTION
INV	INVERT
LC	LENGTH OF CURVE
LP	LIGHT POLE
LPT	LOW POINT
LT	LEFT
MG	MEET GRADE
MH	MANHOLE
MISC	MISCELLANEOUS
MON	MONUMENT
MS	MULTIPURPOSE SLUDGE
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
OMD	OFFICE MANUAL DRAWING
PC	POINT OF CURVE
PCC	PORTLAND CEMENT CONCRETE
PCCP	PRESTRESSED CONCRETE CYLINDER PIPE
DRN	PROCESS DRAIN
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PM	PROCESS MANHOLE
POC	POINT ON CURVE
POT	POINT ON TANGENT
PROP	PROPOSED
RPT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPP	REINFORCED CONCRETE PRESSURE PIPE
RD	ROOF DRAIN
REF	ROOF EXHAUST FAN
RR	RAILROAD
RT	RIGHT
S	SOUTH
SMH	SANITARY SEWER MANHOLE
SRPS	SITE RUNOFF PUMP STATION
STMH	STORM SEWER MANHOLE
SD	STORM DRAIN
SDBC	DUCT BANK GROUND WIRE
STA	STATION
TC	TOP OF CURB
TEL	TELEPHONE
TOC	TOP OF CASTING
TOS	TOP OF SLAB
TYP	TYPICAL
VAR	VARIABLE
VC	VITRIFIED CLAY
W	WEST
WMH	WATER MANHOLE
X-DRAIN	CROSS DRAIN
YH	YARD HYDRANT

JOB	W12-2600	SHEET	11	OF	28
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT AKRIDGE WAREHOUSE DEMOLITION			
<b>NOTES AND ABBREVIATIONS</b>			
<b>DEMOLITION</b>			
SCALE		DRAWN	CEC
INTERCEPTOR		CHECKED	JUH
SYSTEM		SUBMITTED	M BABBITT
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_0001_DEMOLITION_ABBREVIATION		

MARK A. BABBITT  
No. PE906469  
REGISTERED  
PROFESSIONAL ENGINEER

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JOB	W12-2600	SHEET	12	OF	28
NO.	DESCRIPTION	BY	DATE		

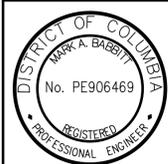
- GENERAL NOTES:**
1. SECOND AND S STREETS, SW. SQUARE 0603, LOT 0800 IS REPORTEDLY OWNED BY AKRIDGE.
  2. A PREFABRICATED METAL BUILDING IS CONSTRUCTED ON THE LOT WHICH IS BEING USED FOR TRUCK PARKING AND A WOOD STORAGE WAREHOUSE.
  3. THE WAREHOUSE BUILDING CONSISTS OF AN OFFICE AND A RESTROOM. MACHINERY AND ROAD TREATMENT SUPPLIES ARE STORED IN THE WAREHOUSE.
  4. DEMOLITION WORK SHALL COMMENCE ONLY AFTER THE LOCATION AND CAPPING OF UNDERGROUND UTILITIES AND THE REMOVAL OF OVERHEAD UTILITIES SERVICING THE BUILDINGS TO BE DEMOLISHED.

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT AKRIDGE WAREHOUSE DEMOLITION			
<b>SITE LOCATION PLAN</b>			
<b>DEMOLITION</b>			
SCALE		DRAWN	CEC
INTERCEPTOR		CHECKED	JUH
SYSTEM		SUBMITTED	M BABBITT
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_0001_DEMOLITION_SITE_PLAN		

**AKRIDGE SITE**  
SCALE: 1"=50'

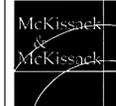
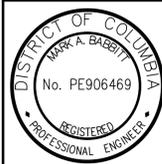


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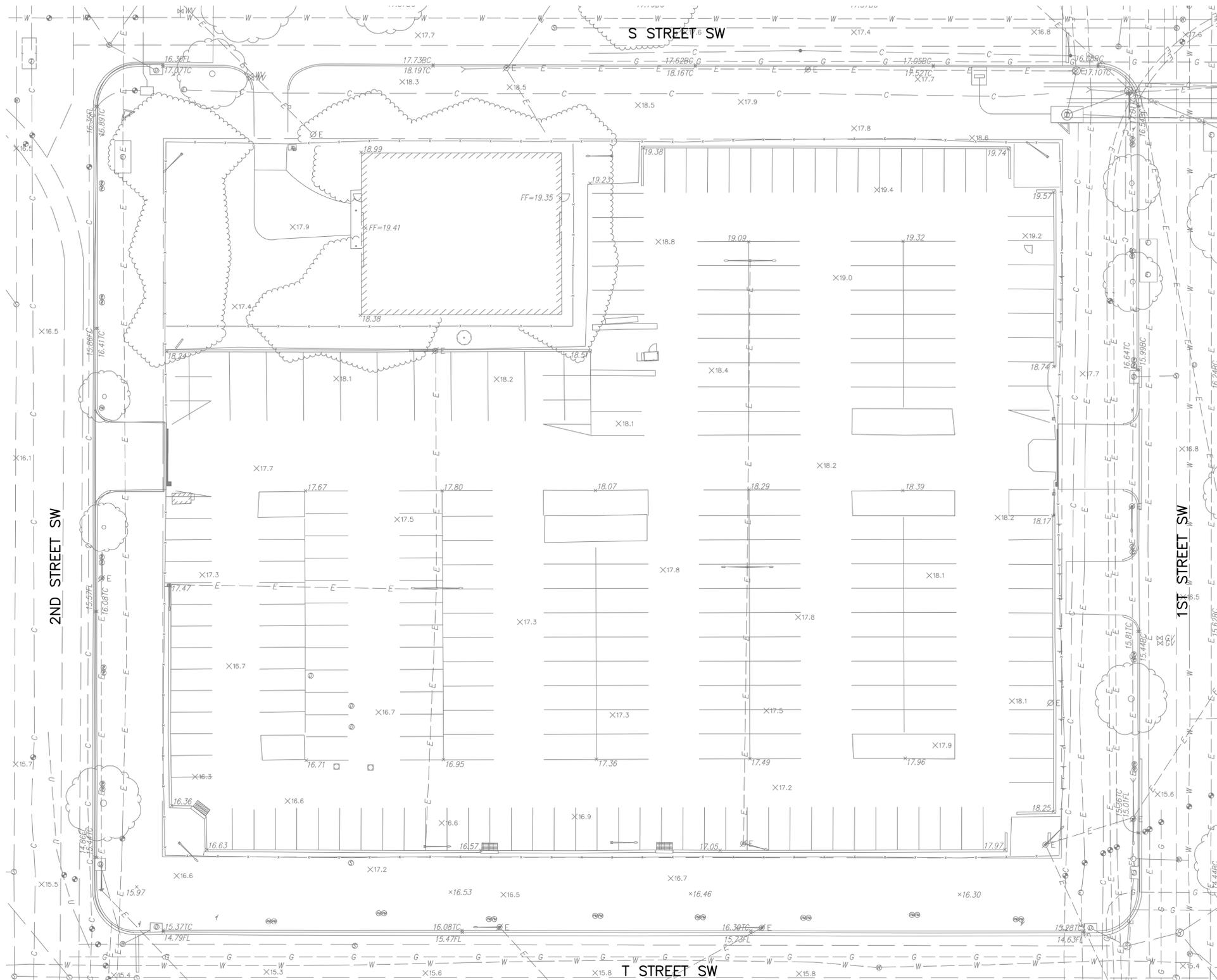
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 Drawing ID: G:\V12-2600 BUZZARDIS POINT\30 D CAD DOCUMENTS\1-3 PRODUCTION\2 CIVIL\ASHEETS\BZPT\_D002\_DEMOLITION UTILITY PLANS.DWG



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REDUCTION  
 VERIFICATION  
 SCALE

10 INCHES



**EXISTING UTILITY PLAN**  
 SCALE: 1"=20'-0"

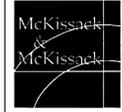
JOB	W12-2600	SHEET	13 OF 28
NO.	DESCRIPTION	BY	DATE

NO.	DESCRIPTION	BY	DATE

PUBLIC SPACE REVIEW	
McKISSACK AND McKISSACK ENGINEERING	
BUZZARD POINT AKRIDGE WAREHOUSE DEMOLITION	
EXISTING UTILITIES	
DEMOLITION	
SCALE	DRAWN CEC
INTERCEPTOR	CHECKED JUH
SYSTEM	SUBMITTED M. BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_D002_DEMOLITION UTILITY PLANS

D003

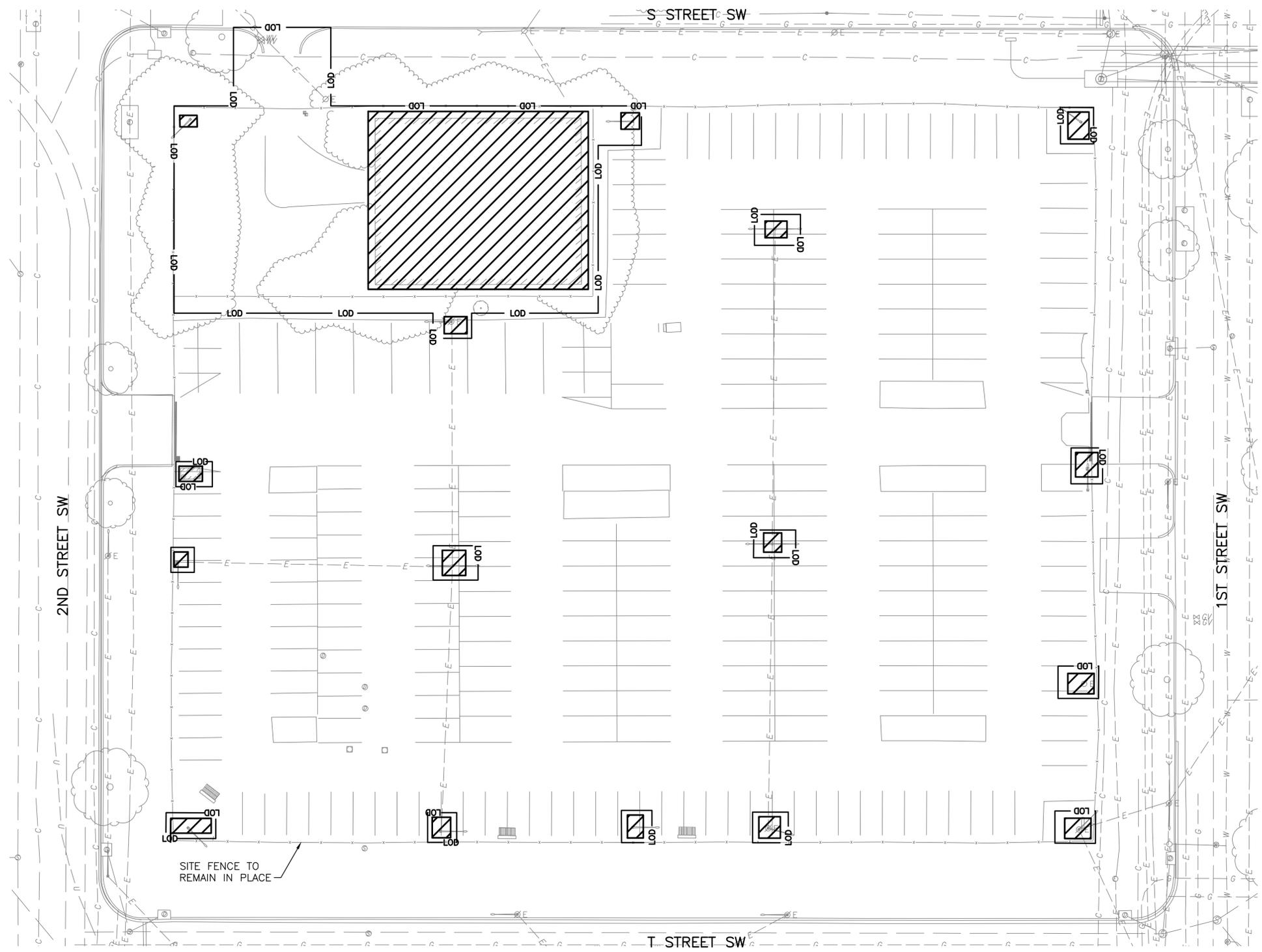
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REDUCTION VERIFICATION SCALE

10 INCHES



**AKRIDGE DEMOLITION PLAN**  
 SCALE: 1"=20'-0"

**ENVIRONMENTAL INVENTORY**

THE FOLLOWING IS FROM THE RESULTS FROM THE JULY 28, 2015 HAZARDOUS MATERIAL SURVEY CONDUCTED BY ECS MID-ATLANTIC, LLC:

**ASBESTOS-CONTAINING MATERIALS:**

- WHITE INTERIOR WINDOW GLAZE - 2% CHYRSOTILE
- EXTERIOR EXTERIOR WHITE SIDING CAULK - 3% CHYRSOTILE

**SRF LEAD BASED PAINT SUMMARY:**

- EXTERIOR WAREHOUSE METAL GRAY DOOR CASING - Pb 1.36
- WAREHOUSE OFFICE BROWN WOOD WINDOW SASH - Pb 5.00

JOB	W12-2600	SHEET	14	OF	28
NO.	DESCRIPTION	BY	DATE		

**DEMOLITION NOTES:**

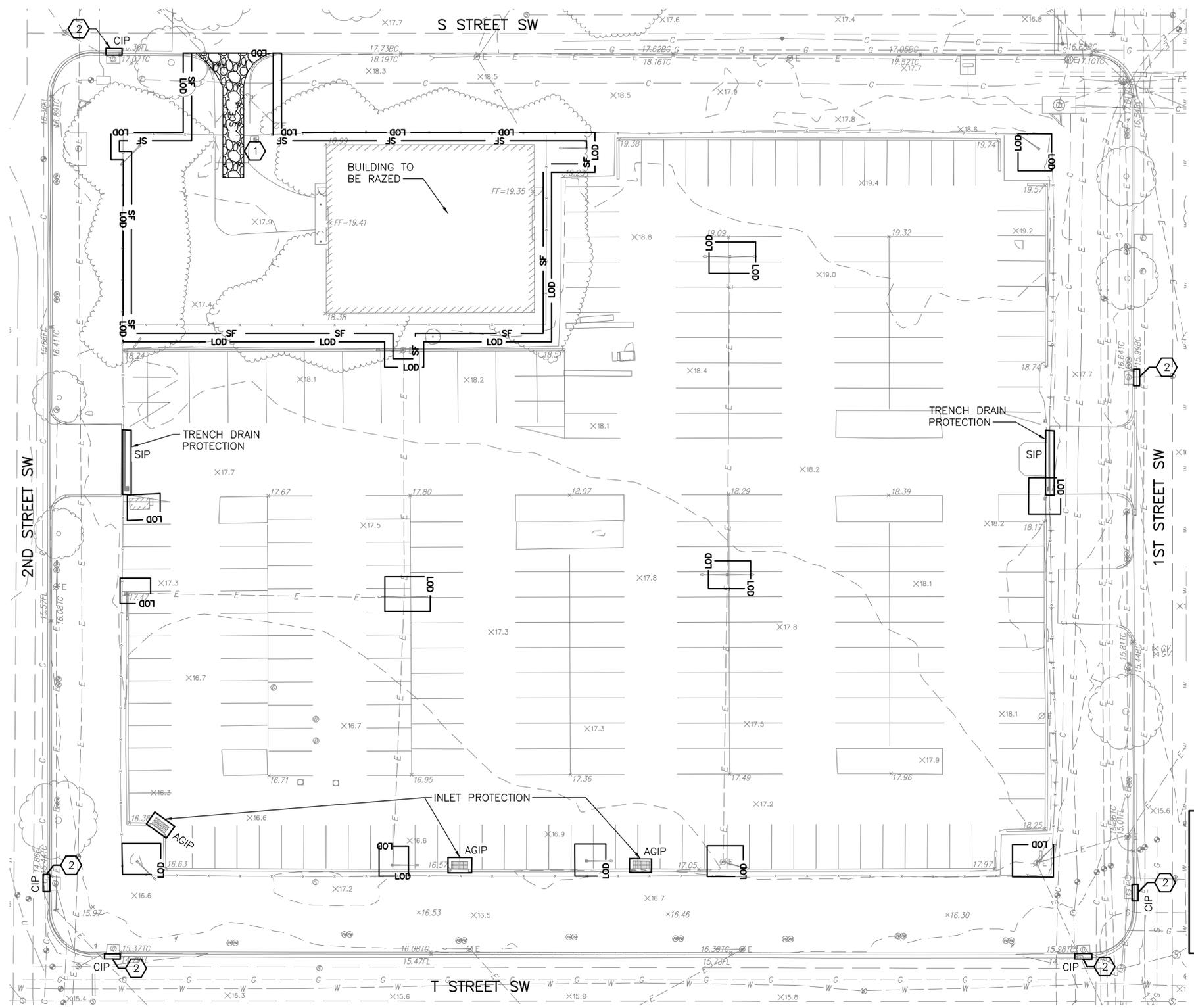
1. DEMOLISH, COMPLETELY, DOWN TO GRADE EVERYTHING WITHIN THE AREA OF DEMOLITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE AND SAFE REMOVAL OR REMEDIATION OF ANY HAZARDOUS MATERIALS FOUND IN THE DEMOLITION LIMITS REPRESENTED IN THE DEMOLITION DRAWINGS INCLUDING BUT NOT LIMITED TO THOSE LISTED IN THE ENVIRONMENTAL INVENTORY ON THIS PAGE.
3. REMOVE ALL EXISTING SURFACE MOUNTED FIXTURES, WIRING OR ANY ATTACHMENTS AND MISCELLANEOUS DEBRIS LEFT WITHIN THE DEMOLITION AREA.
4. REMOVE ALL DEBRIS WITHIN THE LIMITS OF DEMOLITION.
5. REMOVE ALL EXISTING LIGHT POLES AND LIGHT POLE FOUNDATIONS. BACKFILL WITH CR6 TO EXISTING GRADE. ALL FILL SHALL BE PROPERLY COMPACTED WHEN PLACED.

**LEGEND:**

- STABILIZED CONSTRUCTION ENTRANCE
- LIMITS OF DEMOLITION
- AREA OF DEMOLITION

**NOTE:**  
 AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT AKRIDGE WAREHOUSE DEMOLITION			
<b>DEMOLITION PLAN</b>			
<b>DEMOLITION</b>			
SCALE	INTERCEPTOR	DRAWN	CEC
SYSTEM	SURVEYED	CHECKED	JUH
DATE	JULY 2015	SUBMITTED	M. BABBITT
CADD FILE	BZPT_D002_DEMOLITION FLOOR PLANS	RECOMMENDED	



**AKRIDGE EROSION AND SEDIMENT CONTROL PLAN**  
SCALE: 1" = 20'-0"

JOB	W12-2600	SHEET	15 OF 28
NO.	DESCRIPTION	BY	DATE

**GENERAL NOTES:**

1. COMPLY WITH EROSION CONTROL NOTES ON DRAWING DDOE002.
2. FOR EROSION AND SEDIMENT CONTROL DETAILS SEE DRAWING DDOE002.

**CODED NOTES:**

- 1 STABILIZED CONSTRUCTION ENTRANCE
- 2 CURB INLET PROTECTION

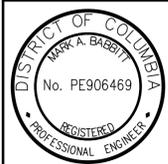
**LEGEND:**

- SF SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- LOD LIMIT OF DISTURBANCE
- CIP CURB INLET PROTECTION
- AGIP AT GRADE INLET PROTECTION

**NOTE:**  
AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT AKRIDGE WAREHOUSE DEMOLITION			
<b>EROSION AND SEDIMENT CONTROL PLAN</b>			
<b>DEMOLITION</b>			
SCALE	INTERCEPTOR	DRAWN	CEC
SYSTEM	SURVEYED	CHECKED	JUH
DATE	JULY 2015	SUBMITTED	M. BABBITT
CADD FILE	BZPT_DDOE001_EROSION AND SEDIMENT CONTROL	RECOMMENDED	

Plotted By: JNATHAN HARDEN Date: 11/18/2015 1:50:14 PM  
 Lost Saved By: JNATHAN HARDEN Date: 11/18/2015 1:50:03 PM  
 Drawing ID: G:\V12-2600 BUZZARDIS POINT\30 D CAD DOCUMENTS\1-3 PRODUCTION\2 CIVIL\SHEETS\BZPT\_DDOE001\_EROSION AND SEDIMENT CONTROL.DWG



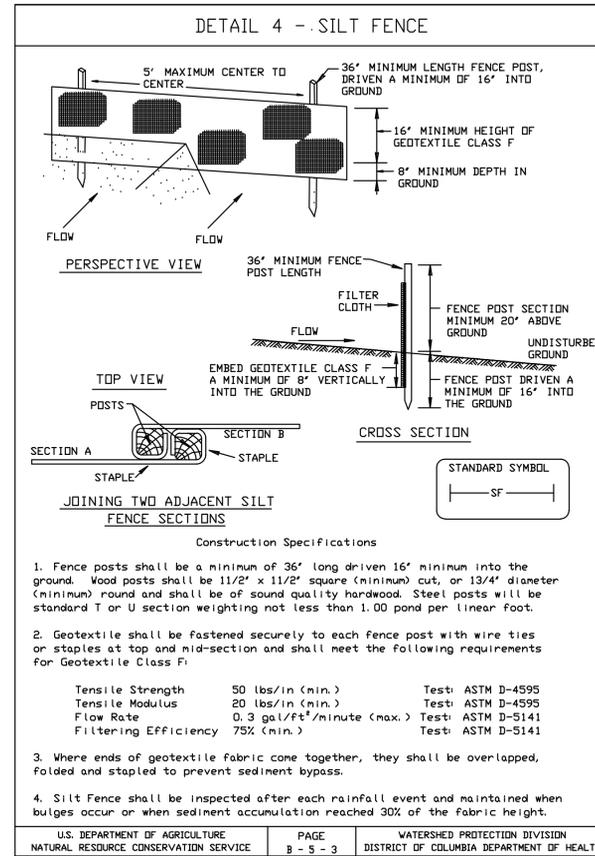
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DOEE001

**STANDARD EROSION CONTROL NOTES**

1. FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (o)].
2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6].
3. CONTACT DOEE INSPECTIONS (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (a)].
4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15].
5. ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].
6. STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21 DCMR § 543.16 (a)].
7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (b)].
8. PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5].
9. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (a)].
10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (b)].
11. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AND DEMOLITION AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (b.1, b.2)].
12. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (b)].
13. POST A SIGN ON SITE THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THIS SIGN MUST BE IN PLAIN VIEW OF AND READABLE BY THE PUBLIC AT A DISTANCE OF TWELVE FEET (12 FT). THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. THE SIGN WILL PROVIDE DOEE'S TELEPHONE NUMBER (202-535-2977) AND E-MAIL ADDRESS. [21 DCMR § 543.22].
14. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (a) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (b) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (c) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (a) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (b) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547].



**SILT FENCE**

**Silt Fence Design Criteria**

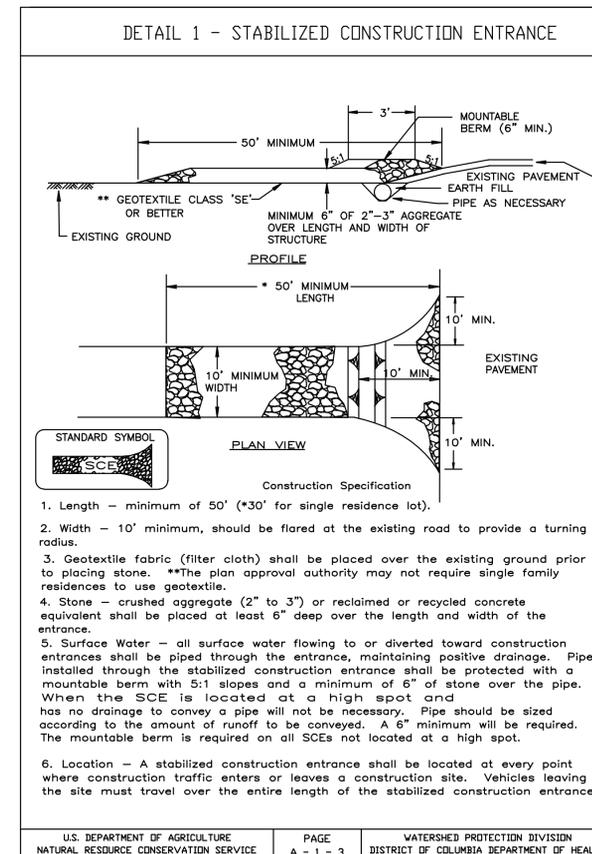
Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

**Note:** In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCE CONSERVATION SERVICE

PAGE  
B - 5 - 4

WATERSHED PROTECTION DIVISION  
DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH



**NOTE:**  
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NO.	DESCRIPTION	BY	DATE

**PUBLIC SPACE REVIEW**

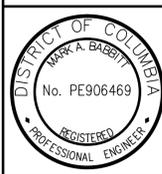
McKISSACK and McKISSACK  
ENGINEERING

BUZZARD POINT  
AKRIDGE WAREHOUSE DEMOLITION

**EROSION CONTROL DETAILS**

**DEMOLITION**

SCALE	DRAWN	CEC
INTERCEPTOR	CHECKED	JUH
SYSTEM	SUBMITTED	M BABBITT
SURVEYED		
DATE	JULY 2015	RECOMMENDED
CADD FILE	BZPT_DOEE002_EROSION AND SEDIMENT CONTROL DETAILS	



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DOEE002

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL ALERT THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION OPERATION AND SHALL ASCERTAIN THE LOCATION OF NEARBY UNDERGROUND UTILITIES. NO EXCAVATION IS PERMITTED UNTIL THE LOCATION OF UTILITIES ARE MARKED.
2. THE CONTRACT SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND SHALL OBTAIN THE NECESSARY PERMITS PRIOR TO DEMOLITION.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE BEEN ESTABLISHED BASED ON INFORMATION FROM RECORD AND CONTRACT DRAWINGS OF PAST AND PRESENT PROJECTS, TEST TRENCHES, AND FIELD SURVEYS. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY DMPED/DGS/McKISSACK & McKISSACK OF ANY CONFLICT UPON EXCAVATION AT ANY AND ALL SUCH LOCATIONS.
4. ALL CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, WORK AREA, MATERIAL, EQUIPMENT STORAGE, AND FIELD OFFICES MUST BE CONFINED TO THE DESIGNATED SPACES AS INDICATED ON THE DRAWINGS.
5. EXISTING SITE CONDITIONS IN OTHER AREAS (SUCH AS CONTOURS, ELEVATIONS, ROADWAY AND BUILDING LOCATIONS, ETC.) ARE BASED ON INFORMATION FROM RECORD DRAWINGS AND PARTIAL FIELD SURVEYS. CONTRACTOR TO VERIFY ALL LOCATIONS IN THE FIELD.
6. TEST TRENCHES FOR THE PURPOSE OF EXPOSING AND RECORDING THE LOCATIONS OF EXISTING UTILITIES, STRUCTURES AND DUCTBANKS ARE REQUIRED PRIOR TO START OF DEMOLITION.
7. CONTRACTOR TO VERIFY ALL UTILITIES HAVE BEEN DISCONNECTED PRIOR TO DEMOLITION.
8. EXISTING AND MODIFIED DATA SHOWN ON THE DRAWINGS SUCH AS STATIONS, DIMENSIONS, CONTOURS AND ELEVATIONS ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND VERIFYING ALL SITE CONDITIONS AND IS RESPONSIBLE FOR ALL CONTENT SHOWN AND NOT SHOWN EXCEPT WERE NOTED.
10. CONTRACTOR SHALL SUBMIT AND EXECUTE A DUST CONTROL PLAN OUTLINING PROTOCOLS AND PROCEDURES FOR THE SPRAYING OF DUST PILES, CONTAINMENT OF FUGITIVE DUST, CONTINUOUS DUST MONITORING AND APPROPRIATE ADJUSTMENT MEASURES TO ACCOMMODATE CHANGES IN ENVIRONMENTAL CONDITIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS AIR MONITORING DURING DEMOLITION.

SYMBOLS	
DESCRIPTION	EXISTING
LIGHT POLE	⊙ LP
ELECTRICAL MANHOLE	⊕
COMMUNICATIONS MANHOLE	⊕ OR ⊕
CITY WATER VALVE CASING	⊕ W
STORM SEWER MANHOLE	⊕ S
SANITARY SEWER MANHOLE	⊕
CATCH BASIN	□ CB
UTILITY POLE	⊕
CURB & GUTTER	====
CHAIN LINK FENCE	— X —
W BEAM GUIDERAIL	— + + + —
GAS LINE	— G —
ELECTRICAL LINE	— E —
WATER LINE	— W —
OVERHEAD ELETRICAL	— OHE —
TREE LINE	~~~~~

**ABBREVIATIONS:**

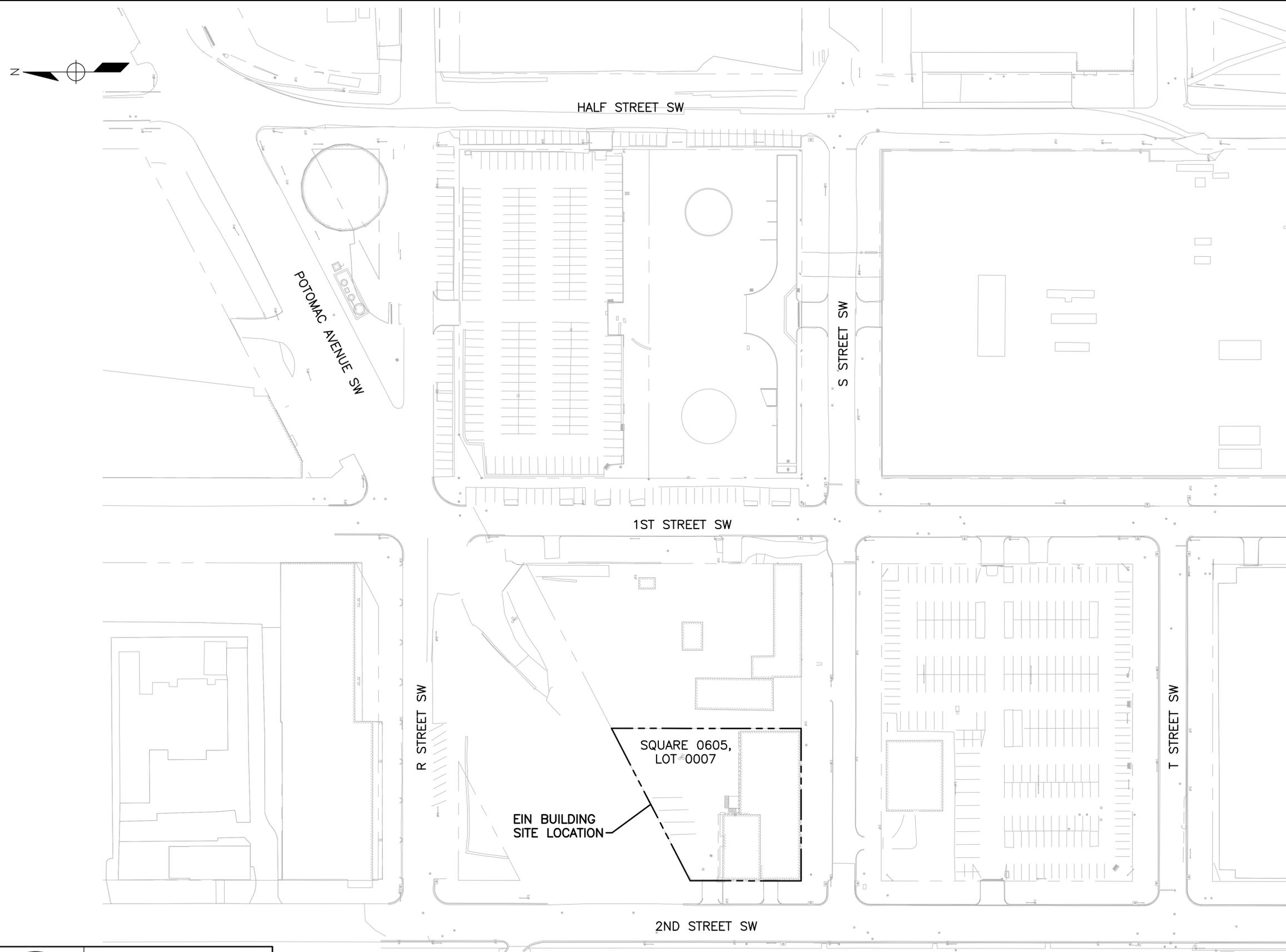
ABAN	ABANDONED
ASC	AMERICAN SURVEYING CONSULTANTS
ASL	ALTERNATE SLUDGE (SPARE LINE)
BIT	BITUMINOUS
BL	BASELINE
BLDG	BUILDING
BW	BACK OF WALK
CB	CATCH BASIN
CCJM	C.C. JOHNSON AND MALHOTRA
CG	CHANGE OF GRADE
CL	CHLORINE
CLS	CHLORINE SOLUTION
CLF	CHAIN LINK FENCE
C&G	CURB AND GUTTER
CSMH	COMMUNICATIONS SYSTEM MANHOLE
COMM	COMMUNICATIONS
CRS	CHEMICAL RECEIVING STATION
CW	CITY WATER
DB	DUCT BANK
D	DRAIN
DI	DROP INLET
DIP	DUCTILE IRON PIPE
E	EAST
ELEC	ELECTRIC
EL/ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
ETR	EXISTING TO REMAIN
FF	FIRST FLOOR
FM	FORCE MAIN
FT	FEET
GPR	GROUND PENETRATING RADAR
HPNG	HIGH PRESSURE NATURAL GAS
HPT	HIGH POINT
IN	INCH
INS	INSERTION
INV	INVERT
LC	LENGTH OF CURVE
LP	LIGHT POLE
LPT	LOW POINT
LT	LEFT
MG	MEET GRADE
MH	MANHOLE
MISC	MISCELLANEOUS
MON	MONUMENT
MS	MULTIPURPOSE SLUDGE
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
OMD	OFFICE MANUAL DRAWING
PC	POINT OF CURVE
PCC	PORTLAND CEMENT CONCRETE
PCCP	PRESTRESSED CONCRETE CYLINDER PIPE
DRN	PROCESS DRAIN
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PM	PROCESS MANHOLE
POC	POINT ON CURVE
POT	POINT ON TANGENT
PROP	PROPOSED
RPT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPP	REINFORCED CONCRETE PRESSURE PIPE
RD	ROOF DRAIN
REF	ROOF EXHAUST FAN
RR	RAILROAD
RT	RIGHT
S	SOUTH
SMH	SANITARY SEWER MANHOLE
SRPS	SITE RUNOFF PUMP STATION
STMH	STORM SEWER MANHOLE
SD	STORM DRAIN
SDBC	DUCT BANK GROUND WIRE
STA	STATION
TC	TOP OF CURB
TEL	TELEPHONE
TOC	TOP OF CASTING
TOS	TOP OF SLAB
TYP	TYPICAL
VAR	VARIABLE
VC	VITRIFIED CLAY
W	WEST
WMH	WATER MANHOLE
X-DRAIN	CROSS DRAIN
YH	YARD HYDRANT

JOB	W12-2600	SHEET	17	OF	28
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT EIN BUILDING DEMOLITION			
<b>NOTES AND ABBREVIATIONS</b>			
<b>DEMOLITION</b>			
SCALE		DRAWN	CEC
INTERCEPTOR		CHECKED	JUH
SYSTEM		SUBMITTED	M BABBITT
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_D001_DEMOLITION_ABBREVIATION		

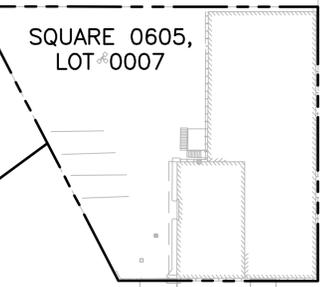
MARK A. BABBITT  
No. PE906469  
REGISTERED  
PROFESSIONAL ENGINEER

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JOB W12-2600		SHEET 18 OF 28	
NO.	DESCRIPTION	BY	DATE

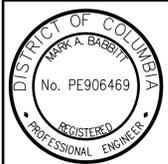
- GENERAL NOTES:**
- 1714 SECOND STREET, SW. SQUARE 0605, LOT 0007 IS OWNED BY ROLLINGWOOD REAL ESTATE.
  - THIS TWO-STORY BUILDING IS UTILIZED BY THE ALTA BICYCLE SHARE FOR OFFICES, STORAGE AND A WORKSHOP. THE FIRST FLOOR IS MAINLY AN OPEN GARAGE FOR STORAGE WITH A WORKSHOP ROOM AND A SECTION OF OFFICES. THE SECOND FLOOR CONSISTS OF OPEN OFFICE CUBICLES, RESTROOMS, A CONFERENCE ROOM AND A KITCHEN.



**EIN SITE**  
SCALE: 1"=50'

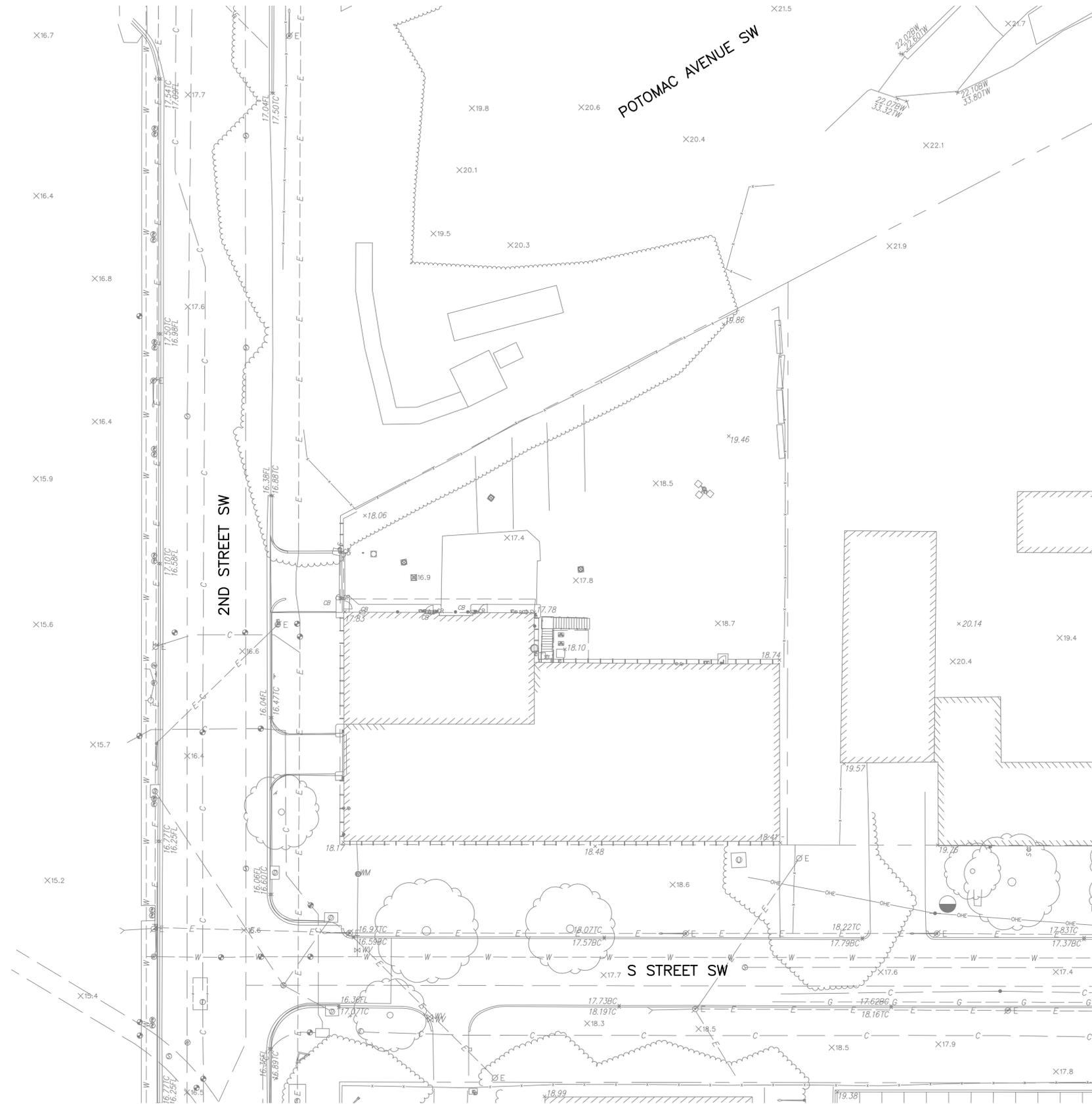
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BUZZARD POINT EIN BUILDING DEMOLITION			
<b>SITE LOCATION PLAN</b>			
<b>DEMOLITION</b>			
SCALE	INTERCEPTOR	DRAWN	J U HARDEN
SYSTEM	SURVEYED	CHECKED	M BABBITT
DATE	JULY 2015	SUBMITTED	###
CADD FILE	BZPT_D001_DEMOLITION_SITE_PLAN	RECOMMENDED	



**EXISTING UTILITY PLAN**

SCALE: 1"=20'-0"

REDUCTION  
VERIFICATION  
SCALE

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NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
	PUBLIC SPACE REVIEW		

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ENGINEERING

BUZZARD POINT  
EIN BUILDING DEMOLITION

EXISTING UTILITIES

**DEMOLITION**

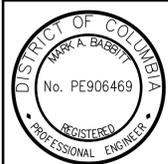
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INTERCEPTOR	CHECKED	JUH
SYSTEM	SUBMITTED	M BABBITT
SURVEYED		
DATE	JULY 2015	RECOMMENDED
CADD FILE	BZPT_D002_DEMOLITION UTILITY PLANS	

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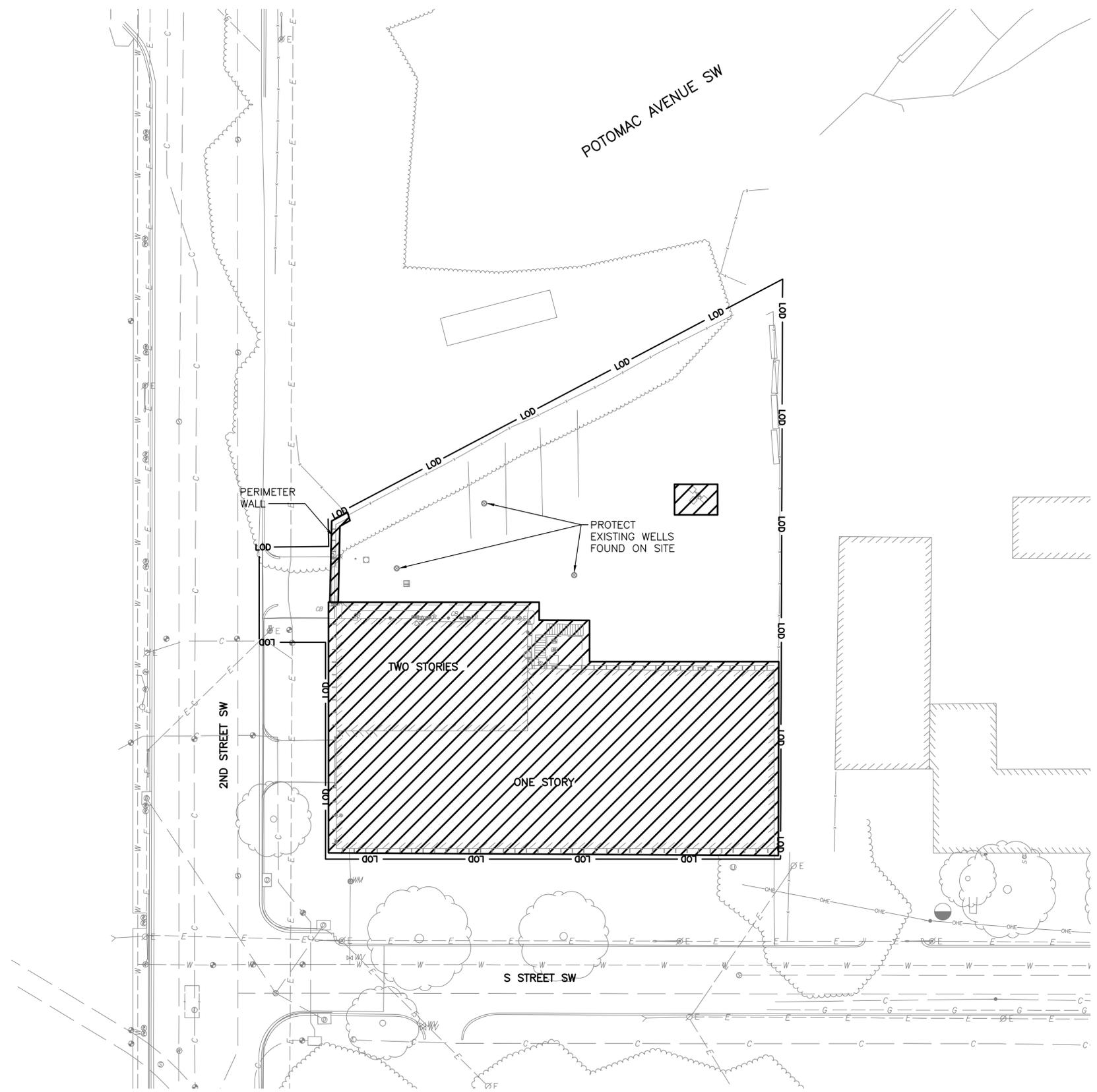
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**EIN BUILDING DEMOLITION PLAN**  
 SCALE: 1"=20'-0"

10 INCHES

**ENVIRONMENTAL INVENTORY**

THE FOLLOWING IS FROM THE RESULTS FROM THE JULY 28, 2015 HAZARDOUS MATERIAL SURVEY CONDUCTED BY ECS MID-ATLANTIC, LLC:

**ASBESTOS-CONTAINING MATERIALS:**

- 2ND FLOOR KITCHEN 12" X 12" OFF-WHITE FLOOR TILE - 3% CHRYSOTILE
- STAIRWELL 12" X 12" TAN FLOOR TILE - 5% CHRYSOTILE
- 2ND FLOOR WATER HEATER CLOSET DRYWALL JOINT COMPOUND - 2% CHRYSOTILE
- 2ND FLOOR CONFERENCE ROOM BROWN PIN MASTIC OF FIBERGLASS WALL INSULATION - 12% CHRYSOTILE
- EXTERIOR ON CONCRETE WALLS EXTERIOR WALL TEXTURE COATING - 3% CHRYSOTILE
- UPPER ROOF BLACK COPING CAULK - 10% CHRYSOTILE
- UPPER ROOF BLACK PITCH POCKET - 3% CHRYSOTILE
- ROOF TOP ROOF LAYER (RUBBER/PITCH) - 3% CHRYSOTILE
- ROOF BLACK VENT CAULK - 2% CHRYSOTILE
- ROOF CAULK ON FLASHING - 2% CHRYSOTILE
- ROOF SILVER PAINT ON VENT - 3% CHRYSOTILE
- ROOF TOP ROOF LAYER (RUBBER/PITCH) - 2% CHRYSOTILE
- ROOF 2ND ROOF LAYER (FELT PAPER/PITCH) - 15% CHRYSOTILE

**SRF LEAD BASED PAINT SUMMARY:**

- SECOND FLOOR CERAMIC WHITE WALL - Pb 1.00
- SECOND FLOOR BATHROOM CERAMIC GRAY WALL - Pb 1.00
- GARAGE CONCRETE YELLOW STAIR TREAD - Pb 2.50

JOB	W12-2600	SHEET	20	OF	28
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NO.	DESCRIPTION	BY	DATE

**DEMOLITION NOTES:**

1. DEMOLISH, COMPLETELY, DOWN TO GRADE EVERYTHING WITHIN THE AREA OF DEMOLITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE AND SAFE REMOVAL OR REMEDIATION OF ANY HAZARDOUS MATERIALS FOUND IN THE DEMOLITION LIMITS REPRESENTED IN THE DEMOLITION DRAWINGS INCLUDING BUT NOT LIMITED TO THOSE LISTED IN THE ENVIRONMENTAL INVENTORY ON THIS PAGE.
3. REMOVE ALL EXISTING SURFACE MOUNTED FIXTURES, WIRING OR ANY ATTACHMENTS AND MISCELLANEOUS DEBRIS LEFT WITHIN THE DEMOLITION AREA.
4. REMOVE ALL DEBRIS WITHIN THE LIMITS OF DEMOLITION.
5. REMOVE ALL EXISTING LIGHT POLES AND LIGHT POLE FOUNDATIONS. BACKFILL WITH CR6 TO EXISTING GRADE. ALL FILL SHALL BE PROPERLY COMPACTED WHEN PLACED.

**LEGEND:**

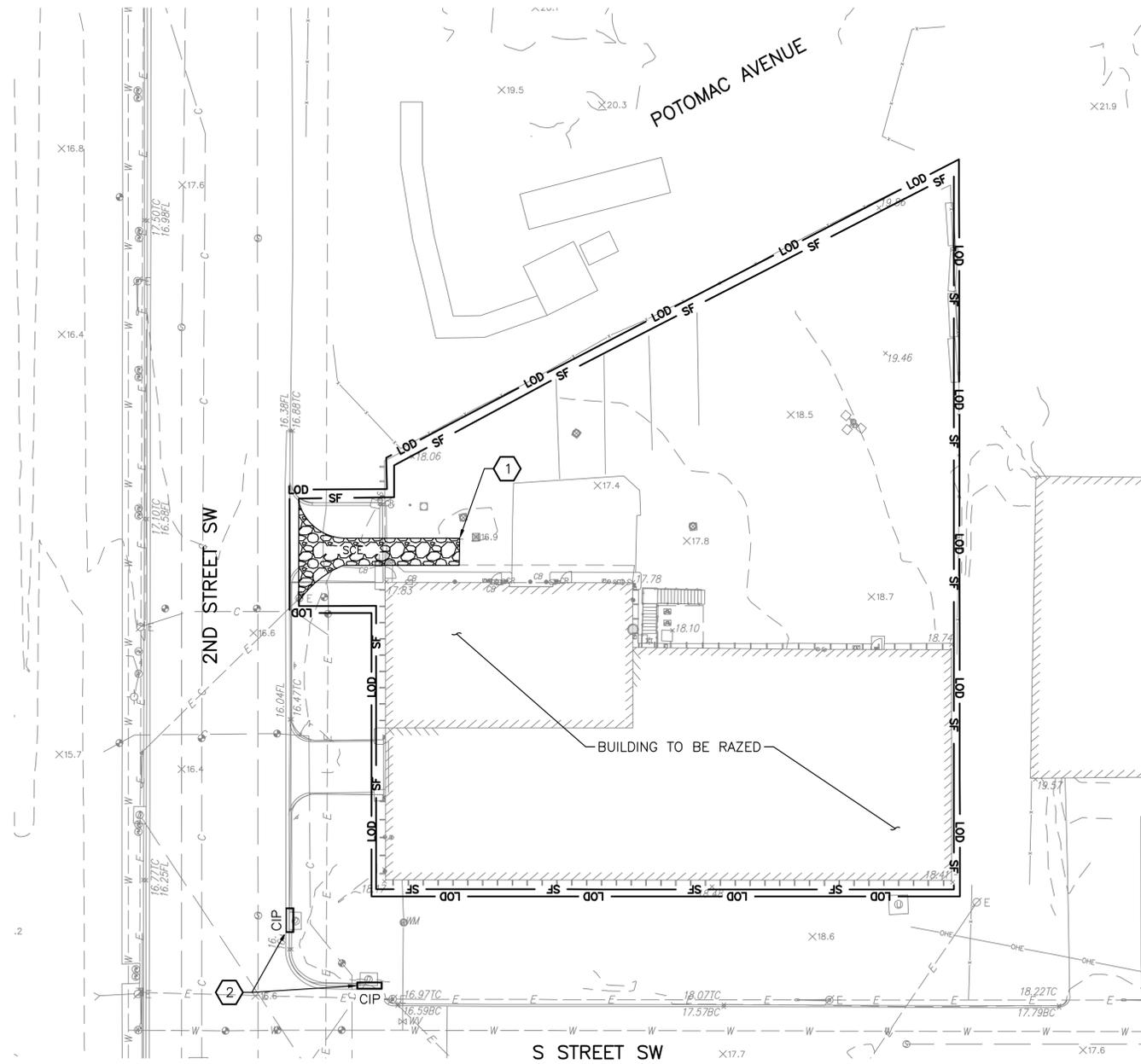
- LOD — LIMITS OF DEMOLITION
- ▨ AREA OF DEMOLITION

**NOTE:**  
 AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

NO.	DESCRIPTION	BY	DATE

PUBLIC SPACE REVIEW	
McKISSACK AND McKISSACK ENGINEERING	
BUZZARD POINT EIN BUILDING DEMOLITION	
<b>DEMOLITION PLAN</b>	
<b>DEMOLITION</b>	
SCALE	DRAWN CEC
INTERCEPTOR	CHECKED JUH
SYSTEM	SUBMITTED M BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_D002_DEMOLITION_FLOOR_PLANS

D004



**EIN EROSION AND SEDIMENT CONTROL PLAN**  
1" = 20'-0"

JOB	W12-2600	SHEET	21	OF	28
NO.	DESCRIPTION	BY	DATE		

**GENERAL NOTES:**

1. COMPLY WITH EROSION CONTROL NOTES ON DRAWING DDOE002.
2. FOR EROSION AND SEDIMENT CONTROL DETAILS SEE DRAWING DDOE002.
3. HAY BALES MAY BE REQUIRED AT LOCATION WHERE SF IS SHOWN OVER UNKNOWN GROUND CONDITIONS

**CODED NOTES:**

- ① STABILIZED CONSTRUCTION ENTRANCE
- ② CURB INLET PROTECTION

**LEGEND:**

- SF — SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- LOD — LIMIT OF DISTURBANCE
- CURB INLET PROTECTION

**NOTE:**  
AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT EIN BUILDING DEMOLITION			
<b>EROSION AND SEDIMENT CONTROL PLAN</b>			
<b>DEMOLITION</b>			
SCALE		DRAWN	CEC
INTERCEPTOR		CHECKED	JUH
SYSTEM		SUBMITTED	M. BABBITT
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_DDOE001_EROSION AND SEDIMENT CONTROL		

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 Drawing ID: G:\V12-2600 BUZZARDIS POINT\30 D CAD DOCUMENTS\1-3 PRODUCTION\2 CIVIL\SHEETS\BZPT\_DDOE001\_EROSION AND SEDIMENT CONTROL.DWG



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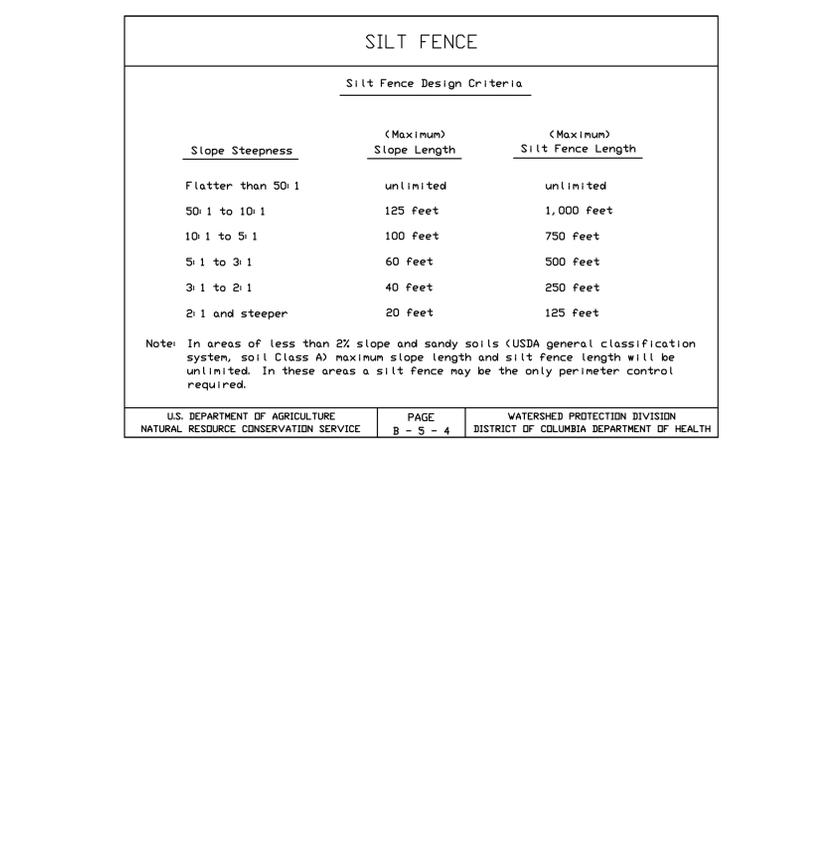
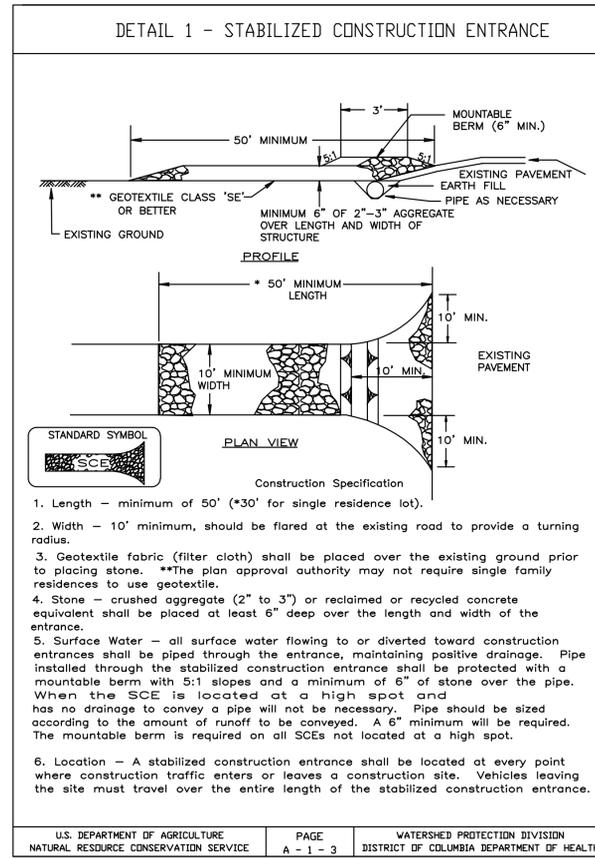
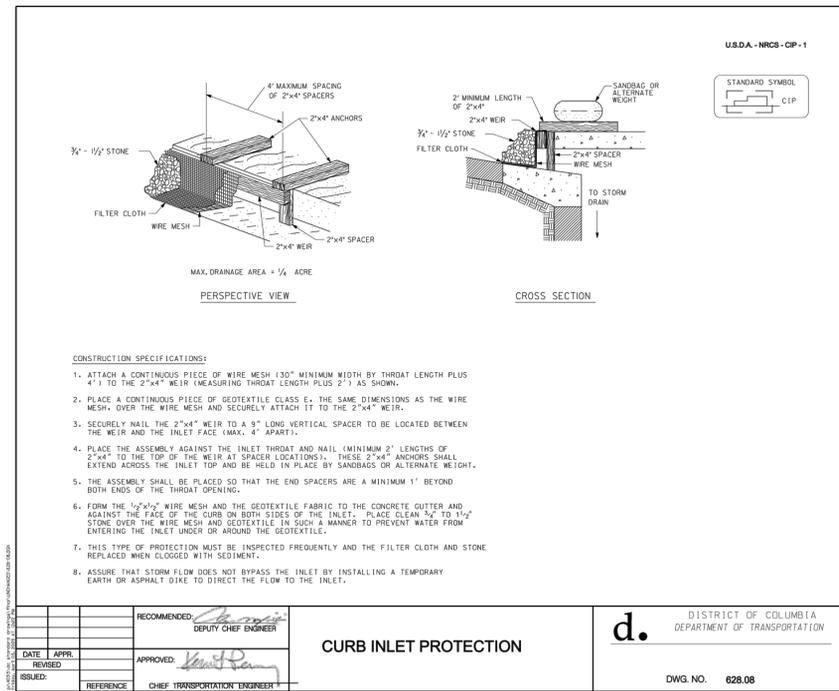
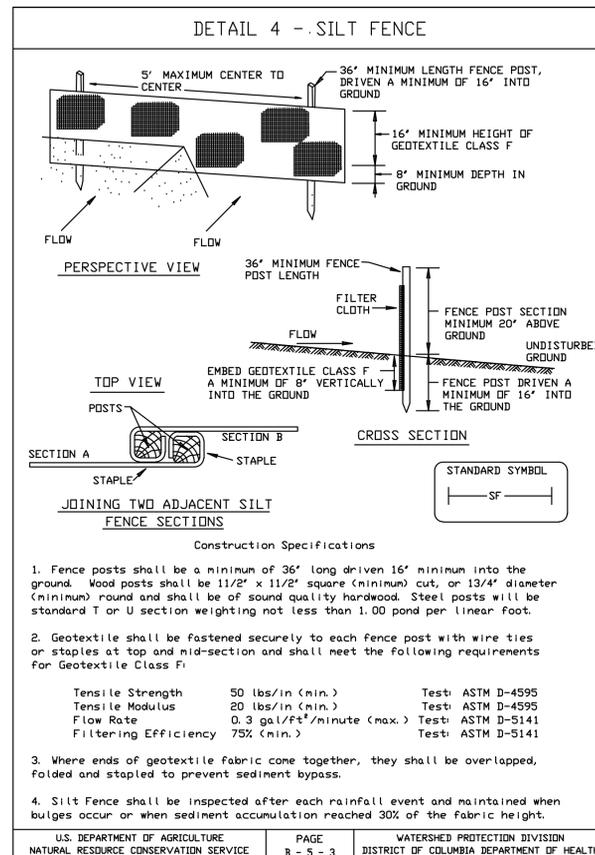
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VERIFICATION  
SCALE

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DOEE001

**STANDARD EROSION CONTROL NOTES**

1. FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (o)].
2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6].
3. CONTACT DOEE INSPECTIONS (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (a)].
4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15].
5. ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].
6. STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21 DCMR § 543.16 (a)].
7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (b)].
8. PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5].
9. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (a)].
10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (b)].
11. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AND DEMOLITION AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (b.1, b.2)].
12. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (b)].
13. POST A SIGN ON SITE THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THIS SIGN MUST BE IN PLAIN VIEW OF AND READABLE BY THE PUBLIC AT A DISTANCE OF TWELVE FEET (12 FT). THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. THE SIGN WILL PROVIDE DOEE'S TELEPHONE NUMBER (202-535-2977) AND E-MAIL ADDRESS. [21 DCMR § 543.22].
14. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (a) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (b) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (c) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (a) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (b) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547].



**NOTE:**  
AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

**DISTRICT OF COLUMBIA**  
MARK A. BABBITT  
No. PE906469  
REGISTERED PROFESSIONAL ENGINEER

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**EROSION & SEDIMENT CONTROL DETAILS**

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PUBLIC SPACE REVIEW			
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BUZZARD POINT EIN BUILDING DEMOLITION			
EROSION CONTROL DETAILS			
DEMOLITION			
SCALE	DRAWN	CEC	
INTERCEPTOR	CHECKED	JUH	
SYSTEM	SUBMITTED	M BABBITT	
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_DOEE002_EROSION AND SEDIMENT CONTROL DETAILS		

DOEE002

Plotted By: JONATHAN HARBEN Date: 11/18/2015 1:52:19 PM  
 Last Saved By: JONATHAN HARBEN Date: 11/18/2015 12:57:12 PM  
 Drawing ID: G:\V12-2600 BUZZARD POINT\3D CAD DOCUMENTS\3D-3 PRODUCTION\2 CIVIL\ASSETS\BZPT\_DOEE002\_EROSION AND SEDIMENT CONTROL DETAILS.DWG

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL ALERT THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION OPERATION AND SHALL ASCERTAIN THE LOCATION OF NEARBY UNDERGROUND UTILITIES. NO EXCAVATION IS PERMITTED UNTIL THE LOCATION OF UTILITIES ARE MARKED.
2. THE CONTRACT SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND SHALL OBTAIN THE NECESSARY PERMITS PRIOR TO DEMOLITION.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE BEEN ESTABLISHED BASED ON INFORMATION FROM RECORD AND CONTRACT DRAWINGS OF PAST AND PRESENT PROJECTS, TEST TRENCHES, AND FIELD SURVEYS. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY DMPED/DGS/McKISSACK & McKISSACK OF ANY CONFLICT UPON EXCAVATION AT ANY AND ALL SUCH LOCATIONS.
4. ALL CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, WORK AREA, MATERIAL, EQUIPMENT STORAGE, AND FIELD OFFICES MUST BE CONFINED TO THE DESIGNATED SPACES AS INDICATED ON THE DRAWINGS.
5. EXISTING SITE CONDITIONS IN OTHER AREAS (SUCH AS CONTOURS, ELEVATIONS, ROADWAY AND BUILDING LOCATIONS, ETC.) ARE BASED ON INFORMATION FROM RECORD DRAWINGS AND PARTIAL FIELD SURVEYS. CONTRACTOR TO VERIFY ALL LOCATIONS IN THE FIELD.
6. TEST TRENCHES FOR THE PURPOSE OF EXPOSING AND RECORDING THE LOCATIONS OF EXISTING UTILITIES, STRUCTURES AND DUCTBANKS ARE REQUIRED PRIOR TO START OF DEMOLITION.
7. CONTRACTOR TO VERIFY ALL UTILITIES HAVE BEEN DISCONNECTED PRIOR TO DEMOLITION.
8. EXISTING AND MODIFIED DATA SHOWN ON THE DRAWINGS SUCH AS STATIONS, DIMENSIONS, CONTOURS AND ELEVATIONS ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND VERIFYING ALL SITE CONDITIONS AND IS RESPONSIBLE FOR ALL CONTENT SHOWN AND NOT SHOWN EXCEPT WERE NOTED.
10. CONTRACTOR SHALL SUBMIT AND EXECUTE A DUST CONTROL PLAN OUTLINING PROTOCOLS AND PROCEDURES FOR THE SPRAYING OF DUST PILES, CONTAINMENT OF FUGITIVE DUST, CONTINUOUS DUST MONITORING AND APPROPRIATE ADJUSTMENT MEASURES TO ACCOMMODATE CHANGES IN ENVIRONMENTAL CONDITIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS AIR MONITORING DURING DEMOLITION.

SYMBOLS	
DESCRIPTION	EXISTING
LIGHT POLE	⊙ LP
ELECTRICAL MANHOLE	⊕
COMMUNICATIONS MANHOLE	⊕ OR ⊕
CITY WATER VALVE CASING	⊕ W
STORM SEWER MANHOLE	⊕ D
SANITARY SEWER MANHOLE	⊕ S
CATCH BASIN	□ CB
UTILITY POLE	⊕
CURB & GUTTER	====
CHAIN LINK FENCE	— X —
W BEAM GUIDERAIL	— I —
GAS LINE	— G —
ELECTRICAL LINE	— E —
WATER LINE	— W —
OVERHEAD ELETRICAL	— OHE —
TREE LINE	~~~~

**ABBREVIATIONS:**

ABAN	ABANDONED
ASC	AMERICAN SURVEYING CONSULTANTS
ASL	ALTERNATE SLUDGE (SPARE LINE)
BIT	BITUMINOUS
BL	BASELINE
BLDG	BUILDING
BW	BACK OF WALK
CB	CATCH BASIN
CCJM	C.C. JOHNSON AND MALHOTRA
CG	CHANGE OF GRADE
CL	CHLORINE
CLS	CHLORINE SOLUTION
CLF	CHAIN LINK FENCE
C&G	CURB AND GUTTER
CSMH	COMMUNICATIONS SYSTEM MANHOLE
COMM	COMMUNICATIONS
CRS	CHEMICAL RECEIVING STATION
CW	CITY WATER
DB	DUCT BANK
D	DRAIN
DI	DROP INLET
DIP	DUCTILE IRON PIPE
E	EAST
ELEC	ELECTRIC
EL/ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
ETR	EXISTING TO REMAIN
FF	FIRST FLOOR
FM	FORCE MAIN
FT	FEET
GPR	GROUND PENETRATING RADAR
HPNG	HIGH PRESSURE NATURAL GAS
HPT	HIGH POINT
IN	INCH
INS	INSERTION
INV	INVERT
LC	LENGTH OF CURVE
LP	LIGHT POLE
LPT	LOW POINT
LT	LEFT
MG	MEET GRADE
MH	MANHOLE
MISC	MISCELLANEOUS
MON	MONUMENT
MS	MULTIPURPOSE SLUDGE
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
OMD	OFFICE MANUAL DRAWING
PC	POINT OF CURVE
PCC	PORTLAND CEMENT CONCRETE
PCCP	PRESTRESSED CONCRETE CYLINDER PIPE
DRN	PROCESS DRAIN
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PM	PROCESS MANHOLE
POC	POINT ON CURVE
POT	POINT ON TANGENT
PROP	PROPOSED
RPT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPP	REINFORCED CONCRETE PRESSURE PIPE
RD	ROOF DRAIN
REF	ROOF EXHAUST FAN
RR	RAILROAD
RT	RIGHT
S	SOUTH
SMH	SANITARY SEWER MANHOLE
SRPS	SITE RUNOFF PUMP STATION
STMH	STORM SEWER MANHOLE
SD	STORM DRAIN
SDBC	DUCT BANK GROUND WIRE
STA	STATION
TC	TOP OF CURB
TEL	TELEPHONE
TOC	TOP OF CASTING
TOS	TOP OF SLAB
TYP	TYPICAL
VAR	VARIABLE
VC	VITRIFIED CLAY
W	WEST
WMH	WATER MANHOLE
X-DRAIN	CROSS DRAIN
YH	YARD HYDRANT

JOB	W12-2600	SHEET	23	OF	28
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE

PUBLIC SPACE REVIEW

McKISSACK AND McKISSACK  
ENGINEERING

BUZZARD POINT  
SALT DOME DEMOLITION

**NOTES AND ABBREVIATIONS**

**DEMOLITION**

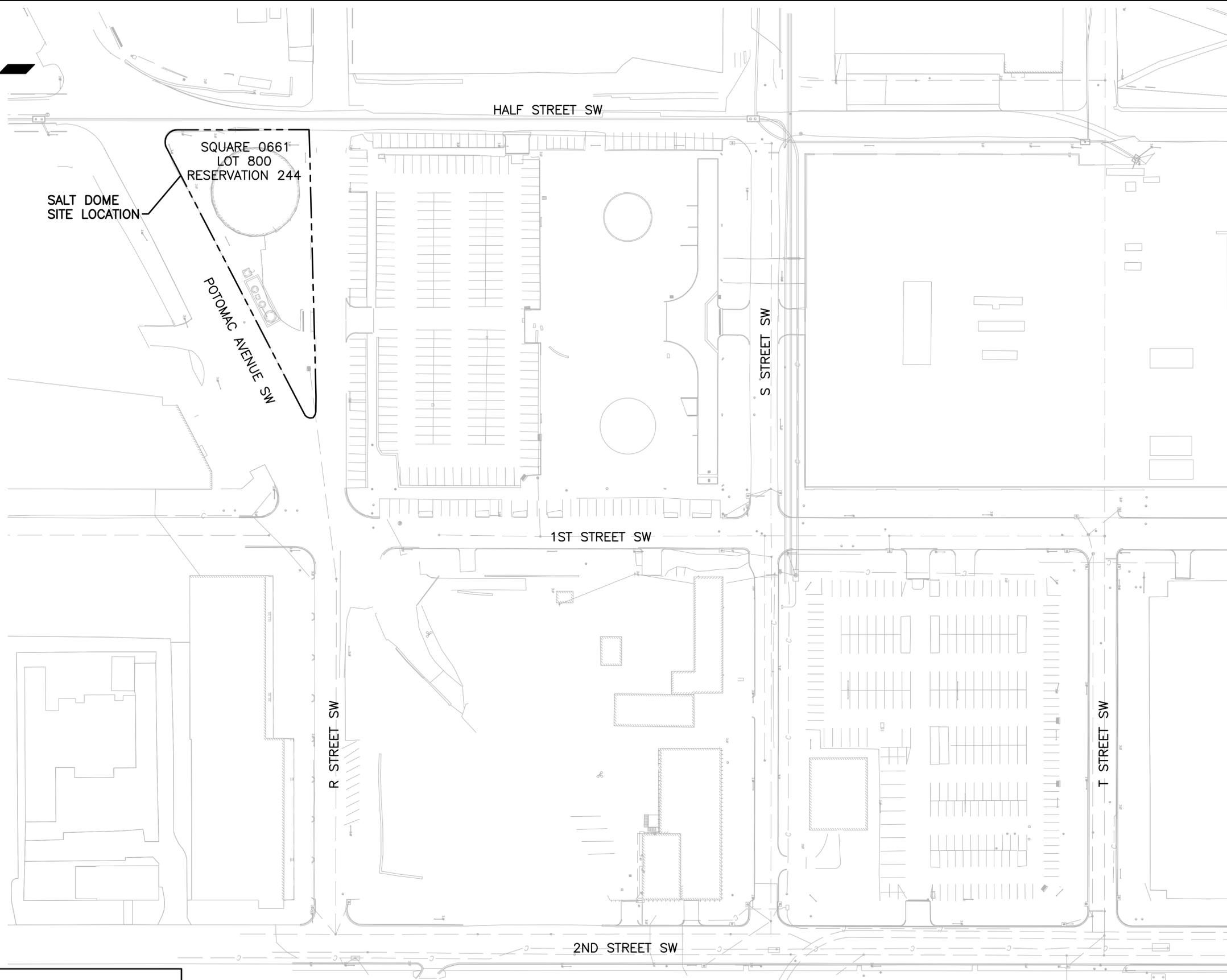
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INTERCEPTOR	CHECKED	JUH
SYSTEM	SUBMITTED	M BABBITT
SURVEYED		
DATE	JULY 2015	RECOMMENDED
CADD FILE	BZPT_0001_DEMOLITION_ABBREVIATION	

MARK A. BABBITT  
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REGISTERED  
PROFESSIONAL ENGINEER

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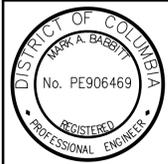


JOB W12-2600		SHEET 24 OF 28	
NO.	DESCRIPTION	BY	DATE

- GENERAL NOTES:**
- POTOMAC AND HALF STREET, SW. SQUARE 0661, LOT 0800 IS A WASHINGTON DC PROPERTY.
  - THIS PROPERTY IS DEVELOPED WITH A LARGE DOME UTILIZED FOR SALT STORAGE. THERE ARE LARGE CHEMICAL STORAGE CONTAINERS ON THE LOT.

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
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BUZZARD POINT SALT DOME DEMOLITION			
SITE LOCATION PLAN			
DEMOLITION			
SCALE	INTERCEPTOR	DRAWN	CEC
SYSTEM	SURVEYED	CHECKED	JUH
DATE	JULY 2015	SUBMITTED	M BABBITT
CADD FILE	BZPT_D001_DEMOLITION_SITE_PLAN	RECOMMENDED	

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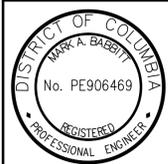
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VERIFICATION  
SCALE

**SALT DOME**  
SCALE: 1"=50'

10 INCHES



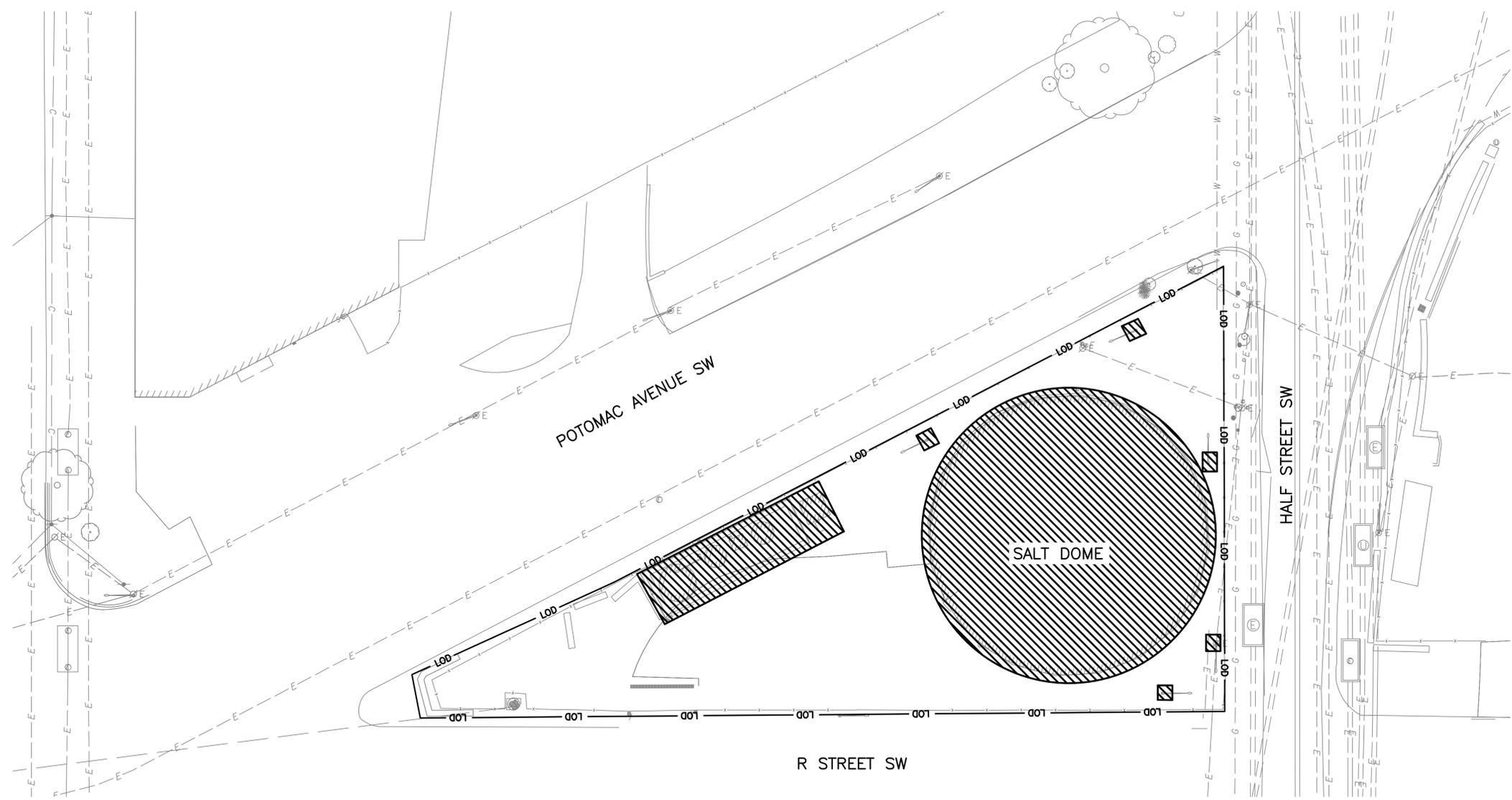
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**SALT DOME DEMOLITION PLAN**  
SCALE: 1"=10'-0"

**NOTE:**  
 AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

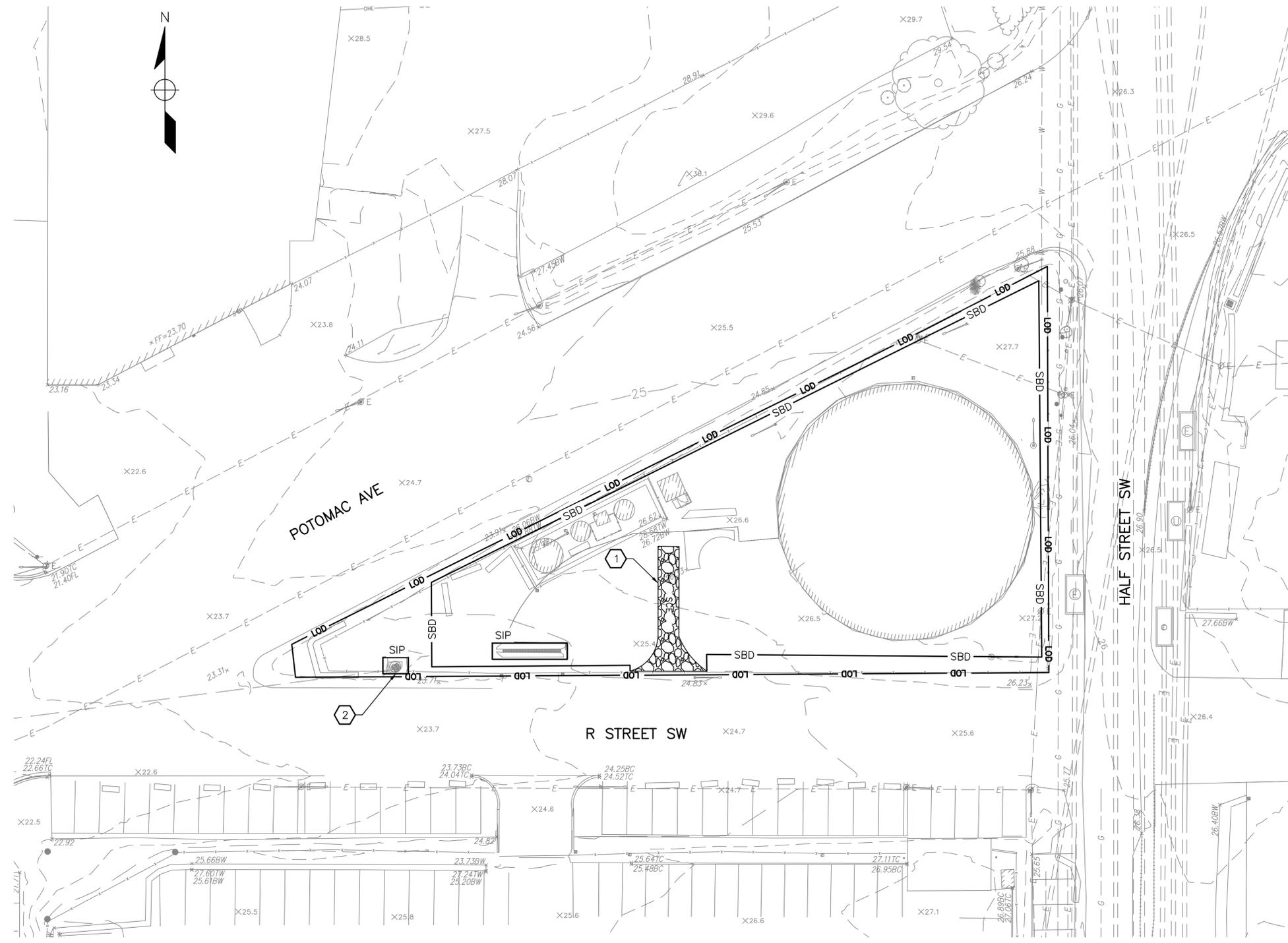
JOB	W12-2600	SHEET	26	OF	28
NO.	DESCRIPTION	BY	DATE		

- DEMOLITION NOTES:**
- DEMOLISH, COMPLETELY, DOWN TO GRADE, EVERYTHING WITHIN THE AREA OF DEMOLITION.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE AND SAFE REMOVAL OR REMEDIATION OF ANY HAZARDOUS MATERIALS FOUND IN THE DEMOLITION LIMITS REPRESENTED IN THE DEMOLITION DRAWINGS.
  - REMOVE ALL EXISTING SURFACE MOUNTED FIXTURES, WIRING OR ANY ATTACHMENTS AND MISCELLANEOUS DEBRIS LEFT WITHIN THE DEMOLITION AREA.
  - REMOVE ALL DEBRIS WITHIN LIMITS OF DEMOLITION.
  - REMOVE ALL EXISTING LIGHT POLES AND LIGHT POLE FOUNDATIONS. BACKFILL WITH CR6 TO EXISTING GRADE. ALL FILL SHALL BE PROPERLY COMPACTED WHEN PLACED.
  - IF REQUIRED, REMOVE AND PROPERLY DISPOSE OF ALL CHEMICAL STORAGE TANKS AT FACILITY EQUIPPED TO HANDLE HAZARDOUS MATERIALS AND DEMOLISH ALL WITHIN THE DEMOLITION LIMITS. BACKFILL AREA TO GRADE WITH CR6.
  - DEMOLITION OF SALT DOME CAN NOT BEGIN UNTIL APRIL OF 2016 AND WITH THE APPROVAL OF DDOT.

- LEGEND:**
- LOD — LIMITS OF DEMOLITION
  - ▨ AREA OF DEMOLITION

NO.	DESCRIPTION	BY	DATE
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McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT SALT DOME DEMOLITION			
<b>DEMOLITION PLAN</b>			
<b>DEMOLITION</b>			
SCALE	INTERCEPTOR	DRAWN	CEC
SYSTEM	SURVEYED	CHECKED	JUH
DATE	JULY 2015	SUBMITTED	M BABBITT
CADD FILE	BZPT_D002_DEMOLITION FLOOR PLANS	RECOMMENDED	

Plotted By: JONATHAN HARDEN Date: 11/18/2015 1:48:45 PM  
 Last Saved By: JONATHAN HARDEN Date: 11/18/2015 12:57:18 PM  
 Drawing ID: G:\V12-2600 BUZZARD'S POINT\30 D CAD DOCUMENTS\1-3 PRODUCTION\2 CIVIL\SHEETS\BZPT\_DBE001\_EROSION AND SEDIMENT CONTROL.DWG



**SALT DOME EROSION AND SEDIMENT CONTROL PLAN**  
1" = 20'-0"

JOB	W12-2600	SHEET	27 OF 28
NO.	DESCRIPTION	BY	DATE

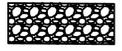
**GENERAL NOTES:**

1. COMPLY WITH EROSION CONTROL NOTES ON DRAWING DDOE002.
2. FOR EROSION AND SEDIMENT CONTROL DETAILS SEE DRAWING DDOE002.

**CODED NOTES:**

1 STABILIZED CONSTRUCTION ENTRANCE  
 2 STANDARD INLET PROTECTION

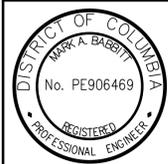
**LEGEND:**

SBD STRAW BALE DIKE  
 STABILIZED CONSTRUCTION ENTRANCE  
 LOD LIMIT OF DISTURBANCE  
 STANDARD INLET PROTECTION  
 SIP STANDARD INLET PROTECTION

**NOTE:**  
 AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

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SCALE	DRAWN CEC
INTERCEPTOR	CHECKED JUH
SYSTEM	SUBMITTED M. BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_DDOE001_EROSION AND SEDIMENT CONTROL




 McKissack & McKissack  
 901 K Street, NW, Suite 600  
 Washington, DC 20001  
 www.mckissackdc.com

REDUCTION VERIFICATION SCALE 0 10 INCHES

DOEE001

**STANDARD EROSION CONTROL NOTES**

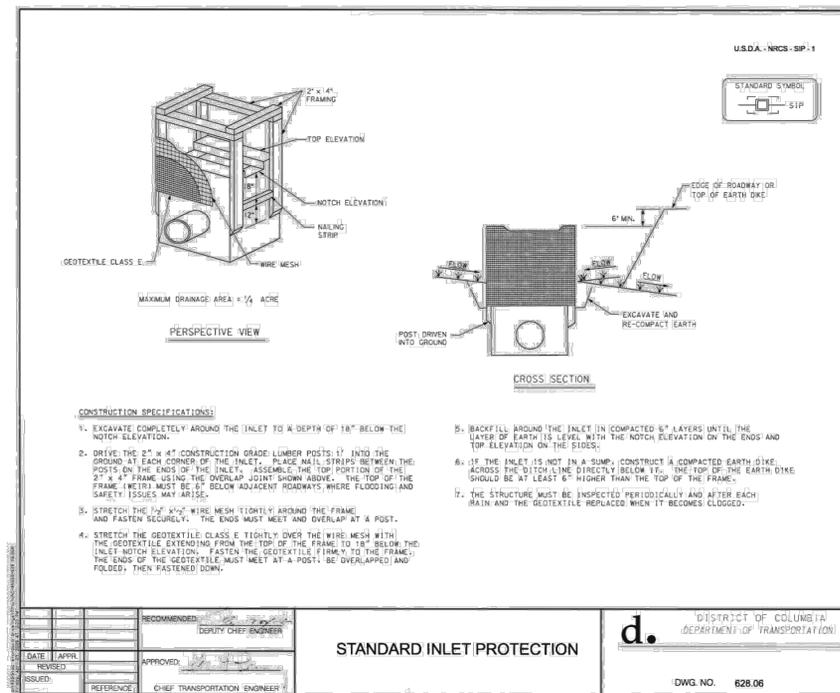
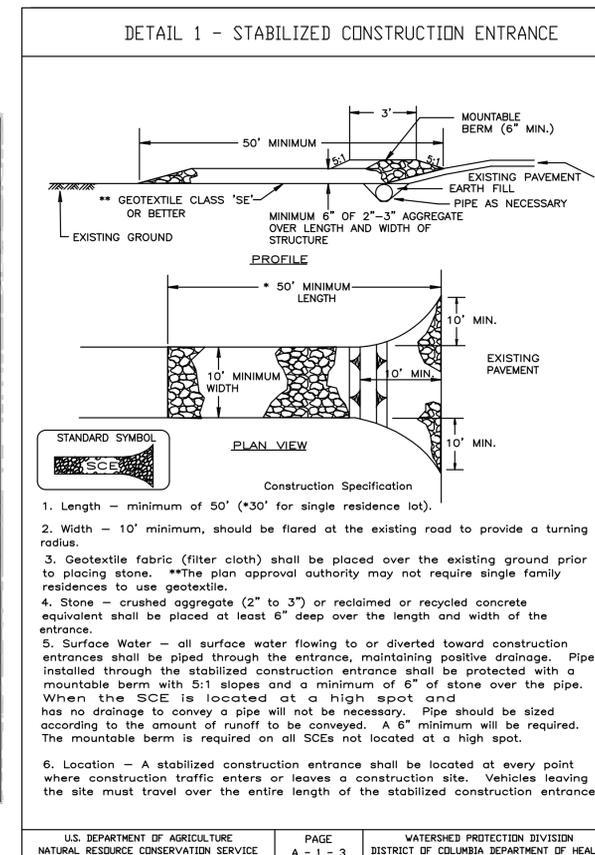
1. FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (o)].
2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6].
3. CONTACT DOEE INSPECTIONS (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (a)].
4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15].
5. ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].
6. STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21 DCMR § 543.16 (a)].
7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (b)].
8. PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5].
9. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (a)].
10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (b)].
11. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AND DEMOLITION AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (b.1, b.2)].
12. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (b)].
13. POST A SIGN ON SITE THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THIS SIGN MUST BE IN PLAIN VIEW OF AND READABLE BY THE PUBLIC AT A DISTANCE OF TWELVE FEET (12 FT). THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. THE SIGN WILL PROVIDE DOEE'S TELEPHONE NUMBER (202-535-2977) AND E-MAIL ADDRESS. [21 DCMR § 543.22].
14. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (a) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (b) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (c) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (a) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (b) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547].

SILT FENCE		
Silt Fence Design Criteria		
Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCE CONSERVATION SERVICE	PAGE B - 5 - 4	WATERSHED PROTECTION DIVISION DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH
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JOB	W12-2600	SHEET	28	OF	28
NO.	DESCRIPTION	BY	DATE		



**NOTE:**  
AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

Plotted By: JONATHAN HARDEN Date: 11/18/2015 1:52:40 PM  
 Lost Saved By: JONATHAN HARDEN Date: 11/18/2015 12:57:12 PM  
 Drawing ID: G:\V12-2600 BUZZARDS POINT\30 D CAD DOCUMENTS\30-3 PRODUCTION\2 CIVIL\SHEETS\BZPT\_DOEE02\_EROSION AND SEDIMENT CONTROL DETAILS.DWG

DISTRICT OF COLUMBIA  
 No. PE906469  
 REGISTERED PROFESSIONAL ENGINEER

McKissack & McKissack  
901 K Street, NW, Suite 600  
Washington, DC 20001  
[www.mckissackdc.com](http://www.mckissackdc.com)

REDUCTION VERIFICATION SCALE 0 10 INCHES

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
	McKISSACK and McKISSACK ENGINEERING		
	BUZZARD POINT SALT DOME DEMOLITION		
EROSION CONTROL DETAILS			
DEMOLITION			
SCALE	DRAWN	CEC	
INTERCEPTOR	CHECKED	JUH	
SYSTEM	SUBMITTED	M BABBITT	
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_DOEE02_EROSION AND SEDIMENT CONTROL DETAILS		

DOEE002

[Contractor’s Letterhead]

[Insert Date]

District of Columbia Department of General Services  
2000 14<sup>th</sup> Street, NW, 8<sup>th</sup> Floor  
Washington, DC 20009

Attn: Mr. Christopher Weaver  
Acting Director/Chief Contracting Officer

Reference: Request for Proposals (RFP)  
DCAM-16-CS-0031 Buzzard Point Soccer Stadium – Site Preparation Above-Grade  
Structure Demolition

Dear Mr. Weaver:

On behalf of [INSERT NAME OF OFFEROR] (the “Offeror”), I am pleased to submit this proposal in response to the Department of General Services’ (the “Department” or “DGS”) Request for Proposal (the “RFP”) for the Buzzard Point Soccer Stadium – Site Preparation Above-Grade Structure Demolition. The Offeror has reviewed the RFP and the attachments thereto, any addenda thereto, and the proposed Form of Contract (collectively, the “Proposal Documents”) and has conducted such due diligence and analysis as the Offeror, in its sole judgment, has deemed necessary in order to submit its Proposal in response to the RFP. The Offeror’s Proposal and the Lump Sum Price are based on the Proposal Documents as issued and assume no material alteration of the terms of the Proposal Documents. (Collectively, the Proposal and the Lump Sum Price with Allowances are referred to as the “Offeror’s Proposal”.)

The Offeror’s Proposal is as follows:

CLIN	DESCRIPTION	Lump Sum Price w/ Allowances 1, 2, 3 and 4
001	Contractor shall demolish all above-grade structures on the sites listed below and completely and safely remove all hazardous materials found within the demolition limits shown in the Drawings and Specifications (Attachment A)	\$ _____
	<b>Lump Sum Price</b>	\$ _____
	<b>Allowance 1-</b> Include the sum of \$50,000 for the removal and disposal of any debris that is NOT considered to be hazardous material.	\$50,000.00
	<b>Allowance 2-</b> Include the sum of \$5,000 for the payment of any outstanding utility balances.	\$5,000.00
	<b>Allowance 3-</b> Include the sum of \$5,000 for picking up permits.	\$5,000.00
	<b>Allowance 4-</b> Include a sum of \$20,000 to engage a subcontractor experienced in the removal of storage tanks with potentially hazardous materials on or inside the tank.	\$20,000.00
	<b>Lump Sum Price w/ Allowance 1, 2, 3 and 4</b>	\$ _____

**LUMP SUM PRICE w/ ALLOWANCES 1, 2, 3 and 4 IN WORDS:**

When requested by the Contracting Officer, Offeror's shall add to the lump sum price CLIN 0001 the price for the add alternate below:

<b>ADD ALT</b>	<b>DESCRIPTION</b>	<b>PRICE</b>
<b>0101</b>	Mobilization cost if demolition at any of Sites 1, 2, and 3 are performed separately.	\$_____ /per site
<b>0102</b>	All trees inside the stadium site shall be removed, including those in the closed streets right of way.	\$_____

<b>Unit Price</b>	<b>DESCRIPTION</b>	
<b>0103</b>	Unit price per foot for wall removal at Site 9.	\$_____ /per foot
<b>0104</b>	Unit price per linear foot for fencing.	\$_____ /per linear foot

The Offeror, for CLIN 0001, must submit for each of the components of work (Divisions) listed on the Price Breakdown Form (Exhibit 1), the price of each Division Component. The sum of all the prices for each Division Component must equal the Lump Sum Price for CLIN 0001. In the event of discrepancies between or among the Lump Sum Price and the Price Breakdown of each Division Component, the Lump Sum Price shall control.

The Offeror acknowledges and understands that the Lump Sum Price is a firm, fixed price and intended to be Offeror's sole compensation for the services required under the contract and should include sufficient funding for all of the Offeror's costs associated with the work, including, but not limited to, labor, tools and equipment, materials and supplies, and overhead, insurance and profit. Failure to submit complete the Price Breakdown for CLIN 0001 shall not to any extent qualify the Offeror's commitment to complete the entire project at the above stated Lump Sum Price. The District may use the Price Breakdown as a guide during contract administration.

The Offeror’s Proposal is based on and subject to the following conditions:

1. The Offeror agrees to hold its proposal open for a period of at least one hundred twenty (120) days after the RFP closing date.
2. Assuming the Offeror is selected by the Department and subject only to the changes requested in paragraph 5, the Offeror agrees to enter into a contract with the Department on the terms and conditions described in the Proposal Documents within ten (10) days of the notice of the award.
3. Both the Offeror and the undersigned represent and warrant that the undersigned has the full legal authority to submit this Proposal form and bind the Offeror to the terms of the Offeror’s proposal. The Offeror further represents and warrants that no further action or approval must be obtained by the Offeror in order to authorize the terms of the Offeror’s proposal.
4. The Offeror and its principal team members hereby represent and warrant that they have not: (i) colluded with any other group or person that is submitting a proposal in response to the RFP in order to fix or set prices; (ii) acted in such a manner so as to discourage any other group or person from submitting a proposal in response to the RFP; or (iii) otherwise engaged in conduct that would violate applicable anti-trust law.
5. The Offeror’s proposal is subject to the following requested changes to the Form of Contract: [INSERT REQUESTED CHANGES. OFFERORS ARE ADVISED THAT THE CHANGES SO IDENTIFIED SHOULD BE SPECIFIC SO AS TO PERMIT THE DEPARTMENT TO EVALUATE THE IMPACT OF THE REQUESTED CHANGES IN ITS REVIEW PROCESS. GENERIC STATEMENTS, SUCH AS “A MUTUALLY ACCEPTABLE CONTRACT” ARE NOT ACCEPTABLE. OFFERORS ARE FURTHER ADVISED THAT THE DEPARTMENT WILL CONSIDER THE REQUESTED CHANGES AS PART OF THE EVALUATION PROCESS.]
6. The Offeror hereby certifies that neither it nor any of its team members have entered into any agreement (written or oral) that would prohibit any contractor, subcontractor or subconsultant that is certified by the District of Columbia Office of Department of Small and Local Business Enterprises as a Local, Small, Resident Owned or Disadvantaged Business Enterprise (collectively, “LSDBE Certified Companies”) from participating in the work if another company is awarded the contract.
7. This Offer Letter Form and the Offeror’s Proposal are being submitted on behalf of [INSERT FULL LEGAL NAME, TYPE OF ORGANIZATION, AND STATE OF FORMATION FOR THE OFFEROR].

Sincerely,

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

**Exhibit 1 - Price Breakdown Form**

<b>CLIN001 – Buzzard Point Soccer Stadium – Site Preparation Above-Grade Site Demolition</b>		
<b>DIVISION NO.</b>	<b>DESCRIPTION</b>	<b>DIVISION COST</b>
Div. 01	General Requirements	
Div. 02	Existing Conditions (incl. abatement/demo)	
Div. 03	Concrete	
Div. 04	Masonry	
Div. 05	Metals	
Div. 06	Woods and Plastics	
Div. 07	Thermal and Moisture Protection	
Div. 08	Openings	
Div. 09	Finishes	
Div. 10	Specialties	
Div. 11	Equipment	
Div. 12	Furnishings	
Div. 13	Special Construction	
Div. 14	Conveying Systems	
Div. 21	Fire Suppressions	
Div. 22	Plumbing	
Div. 23	Heating, Ventilation and Air Conditioning	
Div. 26	Electrical	
Div. 27	Communications	
Div. 28	Electronic Safety and Security	
Div. 31	Earthwork	
Div. 32	Exterior Improvements	
Div. 33	Utilities	
	<b>Lump Sum Price:</b>	
		\$ _____
Allowance 1	Miscellaneous Debris	\$50,000.00
Allowance 2	Outstanding Utility Balance	\$5,000.00
Allowance 3	Pick up of Permits	\$5,000.00
Allowance 4	Removal of Storage Tank	\$20,000.00

	<b>Lump Sum Price w/ Allowance 1, 2, 3 and 4:</b>	\$ _____
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**Disclosure Statement**

The Offeror and each of its principal team members, if any, must submit a statement that discloses any past or present business, familiar or personal relationship with any of the following individuals:

- A. D.C. Department of General Services
  - Christopher Weaver            Acting Director
  - Latrena Owens                Chief of Staff
  - Yinka Alao                     Associate Director, Contracts &  
   Procurement Division
  - Camille Sabbakhan            General Counsel
  - Carlos Sandoval               Supervisory Attorney Advisor
  - Jeff Bonvechio                Deputy Director,  
   Capital Construction

Please identify any past or present business, familiar, or personal relationship in the space below. Use extra sheets if necessary.

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B. McKissack & McKissack of Washington, Inc.

Please identify any past or present business, familiar, or personal relationship in the space below. Use extra sheets if necessary.

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This is to certify that, to the best of my knowledge and belief and after making reasonable inquiry, the above represents a full and accurate disclosure of any past or present business, familiar, or personal relationship with any of the individuals listed above. The undersigned acknowledges and understands that this Disclosure Statement is being submitted to the False Claims Act and that failure to disclose a material relationship(s) may constitute sufficient grounds to disqualify the Offeror.

OFFEROR:

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Exhibit 5  
DCAM-16-CS-0031  
Buzzard Point Demo

**Questions**

No.	RFP Section Reference	Question	Response
1	B.4.1	Please confirm sequence of operations is to demolish areas 2, 3 and 4 first beginning perhaps as early as Dec 15, 2015 and demo salt dome after winter season perhaps in April 2016.	Confirmed. See Amendment 4 Item #5
2		Please confirm all salt and tanks will be removed from the salt dome prior to demolition.	This is confirmed.
3	B.1	Please confirm that the end product of the scope of work is to level EVERYTHING to grade, no underground demo in scope, and fill any holes with dirt (basements, etc).	This is confirmed.
4	B.2.4	Please confirm there is NO soil remediation or underground abatement in scope, all work ends at grade.	This is confirmed.
5		Please confirm that Engineer will get all the utilities disconnected prior to start of work.	This is confirmed.
6		Please confirm that we shall assume all HAZMAT is only what is defined in the scope; all other HAZMAT will be handled via change order.	This is confirmed.
7	B.1	Please confirm no reseeding or landscaping will be required other than final mowing to level vegetation on the entire site.	See Amendment 4 Item #9
8	B.2.3	Please confirm no storm water management is required only erosion and sediment control and inlet protection as shown on the drawings.	This is confirmed.
9	B.2.11	Please confirm that the final barrier around property does not need to be a fence and may be jersey walls or similar with "NO TRESPASSING" and "ROAD CLOSED" signs so that no vehicular traffic may enter the entire site.	Contractor shall install signage per the attached "Road Closure Signage Plan."

10	B.2.11	Please confirm that all public streets will be permanently closed prior to construction and will remain closed. No street repairs will be required.	All streets will be permanently closed. Please see the attached "Road Closing Plan" for reference. No street repairs are required.  Please note that, per Section B.2.11 the Contractor must provide a Traffic Control Plan as part of its proposal if it anticipates any need to occupy or perform work in any open streets.
11		Please confirm no parking lots or pavement or sidewalks or hardscape in general will need to be demolished.	This is confirmed.
12	B.1	Please confirm the following items will be addressed in future addendum: a. Items left on Akridge property (trash, trailers, connex box, etc) to be removed will be covered by allowance b. Piles of trash/dirt at N and E sides of Super Salvage lot will be covered by allowance c. Demolition and removal of wall around PEPCO to the east of Akridge will be covered by allowance d. Demolition within the wall of acquired PEPCO property will be covered by allowance e. Soccer stadium developer "may" put their own construction fence around the entire property f. What to do about surface valves/standpipes on PEPCO property (observed during site walk) g. Removal of concrete barriers on PEPCO property east of Super Salvage will be covered by allowance h. Removal of steel posts for parking meters will be covered by allowance (observed during site walk). Meters shall be removed by DDOT.	See responses as follows:  (a) This is confirmed (b) Removal of berm at North-West shall be included in debris allowance. Soils shall not be removed and should be flattened. (c) <b>See Amendment 4 Item #9</b> (d) See response to (c) above. (e) This is correct, but it shall not affect any section of the contract documents unless specifically referenced. (f) Red standpipe on Site 6 (Image 2) shall be cut at grade and removed. Existing fire standpipes on Sites 6 and 7 (Image 3) located around properties shall also be removed. (g) This is confirmed. (h) This is confirmed.
13	B.2.5	Please confirm any items left on the job site at the start of demolition will be deemed the property of the successful bidder and/or bidder's subcontractor for salvage or sale.	Any debris or demolished material or equipment on site at the start of demolition shall be considered the responsibility of the Contractor to remove and properly dispose. Any intact items, including, but not limited to, trees, vehicles, machinery and structures shall not be considered the Contractor's property until demolished.
14	B.3	Please clarify which permits will be obtained by	Permits will be applied for by the District of Columbia and

		engineer and which ones will need to be obtained by the successful bidder.	picked up by the contractor when the permits are approved. Contractor shall include an allowance of \$5,000.00 for picking up the permits. Allowance shall only be used for the actual permit fees. No markup is permitted.
15	B.3	Will time to obtain any permits be in addition to any time allotted for the completion of the work given that permitting agencies are not required to adhere to project deadlines?	No. Obtaining approval for the permits is not the responsibility of the Contractor.
16		Are unit prices for abatement required in the proposal?	No.
17		Types of and general location of ACMs are identified in the HAZMAT report. Are quantities available as well? If not, how should we quantify in order to price competitively?	Contractor shall be able to view areas inside structures. Please see Amendment 2 Item #2
18		Please advise if a more comprehensive, interiors, site visit will be possible once all tenants have vacated the property permanently.	Yes, it will be done during a second walkthrough. Please see Amendment 2 Item #2
19		Can a specification for the seed to be used be added to the project?	See Amendment 4 Item #9
20		Where is parking permitted?	See Amendment 4 Item #9
21		On what streets are construction vehicles allowed when entering and exiting the site?	See Amendment 4 Item #9
22		What are the locations of the existing utilities?	Please see the attached existing utility plan. (Exhibit 1)
23	B.2.10	Will any toilets be provided?	No.
24	B.2.1	What method should the Contractor use for the removal of light poles.	This is to be determined by the Contractor.
25		Do any provisions of the development agreement between DC United and the District of Columbia regarding contracting apply to this solicitation?	No.
26	B.2.5	Will there be any modifications to the debris removal allowance?	Yes. See Amendment 4 Item #2
27		Will the Contractor need to post contact information at the job site?	Yes, See Amendment 4 Item #9
28		Will a phasing plan be required?	Yes. See Amendment 4 Item #9
29		The Akridge site (Site No. 2) appears to have the wrong lot and square information. Can this be corrected?	Site No. 2 is located on Square 0607, Lot 0013

30		Please confirm there is nothing to be demolished or removed behind the CMU wall scheduled for demolition at the PEPCO property to the SE of the site.	Confirmed.
31		Please confirm we may utilize existing fencing, that is intact, to remain as job site perimeter fence at some locations (e.g. south and west fencing at Akridge parking lot or north fence at Super Salvage property).	See Amendment 4 Item #9
32		Please clarify which utilities will be disconnected by DGS prior to start of the project and for which ones the GC is responsible.	All utilities will be disconnected by DGS. Contractor shall verify that utilities are no longer functional at each structure prior to starting demolition.
33		<p>1) Scope of work calls for consultation with the Urban Forestry for adjacent trees. <b><i>"B.2.6 Coordinate with the Urban Forestry Administration (UFA) to thin and clear forest understory near existing buildings on site."</i></b></p> <p>Will consultation with UFA still be required since essentially all trees are to be demolished?</p>	Yes.
34		Bidders were informed that there will be allowances for miscellaneous unforeseen site debris, items not clearly identified in the limits of demolition, and the large tank on the Super Salvage property north of EIN. Please clarify what will happen if those allowances are exceeded in the removal of those items. Will the GC be able to secure change orders to cover those additional costs	Change orders will be granted if the Contractor is able to demonstrate via receipts that the allowance for debris has been exceeded.
35		Please clarify what is to be done with curbs on the site either within building demolition areas or in general within the perimeter of the job site. Our opinion is that removal of those curbs may not be needed since the successful stadium contractor will need to remediate and excavate the entire site hardscape anyway.	All non-street curbs shall be removed to grade.
36		During the site walk it was stated that <b>ALL</b> trees within the jobsite perimeter are to be demolished. Please clarify extent of tree demolition and if trees that are in line with (or have become part of) existing site perimeter fencing also need to be removed thus	Yes, please replace fencing in these locations.

		requiring fence repair at those locations.	
37		Please clarify the intent of field survey in notes 7 and 8 on D001. These notes seem to be more applicable to new construction.	Confirming that Contractor shall verify that utilities are not functional inside structures being demolished. Contractor is also responsible for verifying all dimensions, elevations and locations shown on the plan.
38		Will air quality testing be required?	Yes. See Amendment 4 Item #9
39		All asbestos is identified to be treated as friable. Roofing, flooring is non-friable and the cost differential is high. Please advise if this can be corrected to state remediate all asbestos in accordance with DC & Federal laws in lieu of treating the material in an elevated state.	Yes, this should stay as is. Should not be corrected because it follows new DOEE guidelines.